

PROJECT ADDENDUM NO. 01

TO THE BIDDING DOCUMENTS FOR:

KINGFISHER COUNTY DISTRICT 1 SHOP ADDITION NEW ANNEX ADDITION

PROJECT NO. 2405

AUGUST 20, 2024

TO ALL CONTRACTORS OF RECORD:

The following items, applicable to the Work designated, shall be considered to be an Addendum and, as such, shall be included into the Contract for Construction. Contractor shall acknowledge receipt of this addendum on bid form.

PART 1 - GENERAL ITEMS

1.01 SPECIFICATIONS

- A. **DIVISION 00- PROCUREMENT AND CONTRACTING REQUIREMENTS - PROJECT TITLE SECTION 00 01 01:**
Delete page and replace with new. See attachment.
- B. Delete specification **SECTION 23 81 26.13**. Replace with new **SECTION 23 81 26.13 – SMALL-CAPACITY SPLIT-SYSTEM AIR CONDITIONERS**.
- C. Delete specification **SECTION 01 11 00**. Replace with new **SECTION 01 11 00**.

PART 2 - ARCHITECTURAL ITEMS

2.01 DRAWINGS

- A. All drawings have address listed incorrectly. The address should read **16470 E 750 Rd** as listed in Specifications Project Title sheet.
- B. A-101:
 - 1. Added generator panel. Added 6" sleeve for sewer-line pipe. Extended sanitary sewer line to connect to new floor drain in existing building. Refer 01/A-101.
 - 2. Added floor drain at location of ice machine Refer 02/A-101.
- A102:
 - 1. Revised "Mini Split System" annotative note.
 - 2. Revised General Floor plan notes.
- A-103:
 - 1. Revised General floor plan notes.
 - 2. Changed orientation of re-installed, existing heater.
 - 3. Adjusted accompanied note, added door number label to B/A-103.

A-111:

1. Revised annotation notes on plan.
2. Revised general notes.
3. Revised lighting schedule.

A-201:

1. Revised Elevation Key Notes

A-301:

1. Revised Annotative Section Notes.

A-311:

1. Revised door label.
2. Revised annotative notes.

A-511:

1. Revised annotative notes.

A-602:

1. Revised annotative notes.

A-740:

1. Dimensioned tile height.
2. Added tile lines.
3. Revised annotative and general notes.
4. Changed PL-1 to SS-1 (Silestone Quartz White)

----- END OF ADDENDUM NO. 01 -----

DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

PROJECT TITLE (ADDENDUM #1)

SECTION 00 01 01

PROJECT NAME: Kingfisher County District 1 Shop Addition
OWNER: Kingfisher County Commissioners
PROJECT LOCATION: 16459 E 750 Rd
Dover, OK 73750
ARCHITECT: ARCHITECTS IN PARTNERSHIP, LLC.
3220 Marshall Avenue
Norman, OK 73072
Telephone: (405) 360 1300
Email: aip@aipok.com
PRINCIPAL IN CHARGE: Gang Li
PROJECT MANAGER: Mary Bailey
ARCHITECT'S PROJECT NUMBER: 2405
MECHANICAL AND ELECTRICAL ENGINEER: N/A

END OF SECTION

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DIVISION 01 - GENERAL REQUIREMENTS

SUMMARY OF WORK (ADDENDUM #1)

SECTION 01 11 00

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.02 SUMMARY

- A. Section Includes:
 - 1. Project information.
 - 2. Work covered by Contract Documents.
 - 3. Work under separate contracts.
 - 4. Salvage requirements.
 - 5. Access to site.
 - 6. Coordination with occupants.
 - 7. Work restrictions.
 - 8. Specification and drawing conventions.
 - 9. Miscellaneous provisions.
- B. Related Requirements:
 - 1. Section 01 50 00 "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.03 WORK COVERED BY THE CONTRACT DOCUMENTS

- A. The Work of Project is defined by the Contract Documents and consists of the following:
 - 1. 2405A – standalone PEB offices addition, 2405B – Renovation of offices area at existing shop.
- B. The Work is located at:
 - 1. 16470 E 750 Rd, Dover, OK 73734
- C. The Work will be constructed for:
 - 1. Kingfisher County Commissioners
- D. The Partner in Charge is Gan Li
- E. The Project Manager is Mary Baily

1.04 TYPE OF CONTRACT

- A. Project will be constructed under a Single Prime contract.

1.05 WORK UNDER SEPARATE CONTRACTS

- A. General: Cooperate fully with separate contractors so work on those contracts may be carried out smoothly, without interfering with or delaying work under this Contract or other contracts. Coordinate the Work of this Contract with work performed under separate contracts.

1.06 SALVAGE REQUIREMENT

- A. Unless otherwise indicated, demolition waste becomes property of Contractor.
- B. Unless otherwise indicated, all equipment that must be removed due to interference with work of this contract remains the property of the Owner, and may be salvaged at the Owner's discretion.
- C. Owner wishes to salvage, and reinstall the following equipment below. Drawings also may indicate items to be salvaged and stored on Owner's premises and the location of storage. Coordinate all salvage activities with Project Manager.

Item No. 1:

Heater above existing offices ceiling/deck

Handling: Contractor shall remove and relocate to Owner's designated location and reinstall as indicated in the Project documents:

- D. Materials and/or items scheduled above for relocation and which are damaged during dismantling or reassembly operations shall be repaired and restored to good operative condition. The Contractor may, at his discretion and upon the approval of the Owner, substitute new materials and/or items of like design

and quality in lieu of materials and/or items to be relocated.

1.07 OWNER-FURNISHED PRODUCTS

- A. Owner will furnish products indicated. The Work includes receiving, unloading, handling, storing, protecting, and installing Owner-furnished products and making building services connections. Furnish all labor, materials, equipment and incidentals necessary to accommodate the equipment or items furnished by the Owner.
- B. Owner-Furnished and Contractor-Installed Products
 - 1. The Contractor shall be responsible for all rough-in required for the item; all final connections required for the item; the placement of the item in its proper location within the Project; and all patch and repair work required.
 - 2. The Contractor shall also be responsible for coordinating a delivery date with the Owner, scheduled with adequate lead time for ordering and delivery such to prevent delays in the Work.
 - 3. The Owner shall be responsible for supplying the information pertinent to the rough-in requirements for the item and for having the item delivered to the Project Site at such time as to prevent delays in the Work in compliance with the Contractors schedule.
 - 4. Owner-Furnished and Contractor-Installed items are denoted <OFCl> in the Contract Documents.
- C. Owner-Furnished and Installed Products
 - 1. The Contractor shall be responsible for rough-in required for the item.
 - 2. The Owner shall furnish all information concerning special rough-in requirements, if applicable. The Owner shall be responsible for placement to the item in its final position and any patch and repair required.
 - 3. Owner furnished and installed items are denoted <NIC> in the Contract Documents.

1.08 CONTRACTORS USE OF SITE AND PREMISES

- A. General: Contractor shall have full use of Project site for construction operations during construction period. Contractor's use of Project site is limited only by Owner's right to perform work or to retain other contractors on portions of Project.
- B. Use of Site: Limit use of Project site to work in areas as indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
 - 1. Limits: Limit site disturbance, including earthwork and clearing of vegetation, to 40 feet (12.2 m) beyond building perimeter; 10 feet (3 m) beyond surface walkways, patios, surface parking, and utilities less than 12 inches (300 mm) in diameter; 15 feet (4.5 m) beyond primary roadway curbs and main utility branch trenches; and 25 feet (7.6 m) beyond constructed areas with permeable surfaces (such as pervious paving areas, storm water detention facilities, and playing fields) that require additional staging areas in order to limit compaction in the constructed area.
- C. Provide access to and from site as required by law and by Owner:
 - 1. Emergency Building Exits During Construction: Keep all exits required by code open during construction period; provide temporary exit signs if exit routes are temporarily altered.
 - 2. Do not obstruct roadways, sidewalks, Entrance or other public ways without permit. Keep driveways and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or storage of materials.
 - a. Schedule deliveries to minimize use of driveways and entrances by construction operations.
 - b. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
- D. Existing building spaces may not be used for storage.
- E. Utility Outages and Shutdown:
 - 1. Limit disruption of utility services to hours the building is unoccupied.
 - 2. Do not disrupt or shut down life safety systems, including but not limited to fire sprinklers and fire alarm system, without 7 days notice to Owner and authorities having jurisdiction.
 - 3. Prevent accidental disruption of utility services to other facilities.

1.09 OWNER OCCUPANCY

- A. Partial Owner Occupancy: Owner will occupy the premises during entire construction period, with the exception of areas under construction. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's operations. Maintain existing exits unless otherwise indicated.

1. Maintain access to existing walkways, corridors, and other adjacent occupied or used facilities. Do not close or obstruct walkways, corridors, or other occupied or used facilities without written permission from Owner and authorities having jurisdiction.
 2. Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations.
- B. Owner Limited Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed portions of the Work, prior to Substantial Completion of the Work, provided such occupancy does not interfere with completion of the Work. Such placement of equipment and limited occupancy shall not constitute acceptance of the total Work.
1. Architect will prepare a Certificate of Substantial Completion for each specific portion of the Work to be occupied prior to Owner acceptance of the completed Work.
 2. Obtain a Certificate of Occupancy from authorities having jurisdiction before limited Owner occupancy.
 3. Before limited Owner occupancy, mechanical and electrical systems shall be fully operational, and required tests and inspections shall be successfully completed. On occupancy, Owner will operate and maintain mechanical and electrical systems serving occupied portions of Work.
 4. On occupancy, Owner will assume responsibility for maintenance and custodial service for occupied portions of Work.
- B. The Owner will occupy the Project after Substantial Completion. Should the Owner require occupancy and occupy the Project prior to issuance of Substantial Completion Certificate, Contractor shall not consider this act an acceptance of any deficient work or deem the project substantially complete.

1.10 WORK RESTRICTIONS

- A. Work Restrictions, General: Comply with restrictions on construction operations.
1. Comply with limitations on use of public streets and with other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours of 8 a.m. to 5 p.m., Monday through Friday, unless otherwise indicated.
1. Weekend Hours: Per owner's instructions
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
1. Notify Owner not less than two days in advance of proposed utility interruptions.
 2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, and Odors: Coordinate operations that may result in high levels of noise and vibration, odors, or other disruption to Owner occupancy with Owner.
1. Notify Owner not less than two days in advance of proposed disruptive operations.
 2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Nonsmoking Building: the project site is a non-smoking building. Smoking is not permitted within the building or on the construction site.
- F. Controlled Substances: Use of tobacco products and other controlled substances within the existing building or on Project site is not permitted.

1.11 OTHER FEATURES

- A. At the completion of all work periods the work area shall be cleared, all tools, equipment, materials and other items removed from the work area.
- B. Prior to leaving the Project Site at the completion of any work period, take special precautions to insure that the facilities of the Owner have been fully and completely secured.

1.12 SPECIAL PAYMENT PROCEDURES

- A. The date for each progress payment should be determined collaboratively by the Contractor, Owner, and Architect during the initial construction meeting unless such date is indicated in the Agreement between Owner and Contractor.
1. Date in the month to submit Payment Request to Architect
 2. Date in the month to submit Payment Request to Owner
 3. Date the Payment will be made to the Contractor
- B. Architect cannot assure timely submission of Payment Requests received after the date noted in <A1> above.

- C. Allow up to two weeks for Architect submit Payment Request to Owner before Thursday of the week and put on the following Monday commissioner's meeting agenda for approve.
- D. upon approve, Payment request will be made to the Contractor

1.13 CONSTRUCTION OCCUPANCY

- A. The Construction Occupancy Date shall be the date of the Notice to Proceed.

1.14 SPECIFICATION SECTIONS APPLICABLE TO ALL CONTRACTS

- A. Unless otherwise noted, all provisions of the sections of division 01 General Requirements apply to all contracts. Specific items of work listed under individual contract descriptions constitute exceptions.

1.15 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 - 2. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
 - 3. Any details specified in the specifications but not depicted in the drawings, or vice versa, shall be treated as if they were present in both. If any clarification or additional information is required, an RFI (Request for Information) per section 01 31 00 should be prepared and submitted to the architect.
 - 4. In case of any inconsistency, any apparent difference, or any other apparent discrepancy in drawings, in specifications, or between drawings and specifications, the interpretation by the architect that best aligns with the project's intention will prevail. No modifications to the contract price will be granted in this situation unless the contractor explicitly specified what was included in the bid form.
- B. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.
- C. Drawing Coordination: Requirements for materials and products identified on the Drawings are described in detail in the Specifications. One or more of the following are used on the Drawings to identify materials and products:
 - 1. Terminology: Materials and products are identified by the typical generic terms used in the individual Specifications Sections.
 - 2. Abbreviations: Materials and products are identified by abbreviations published as part of the U.S. National CAD Standard and scheduled on Drawings.
 - 3. Keynoting: Materials and products are identified by reference keynotes referencing Specification Section numbers found in this Project Manual.

1.16 SEQUENCING OF WORK

- A. The Work shall proceed continuously from the Notice to Proceed until Final Completion.

PART 2 - PRODUCTS

2.01 OWNER-FURNISHED AND CONTRACTOR-INSTALLED PRODUCTS:

- 1. Not Used

2.02 OWNER-FURNISHED AND INSTALLED PRODUCTS:

- 1. Not Used

2.03 CONTRACTOR-FURNISHED AND OWNER-INSTALLED PRODUCTS:

- 1. Not Used

PART 3 - EXECUTION

3.01 GENERAL

- A. Comply with all applicable codes, ordinances and requirements specified in Division 22 - Plumbing, Division 23 - HVAC and in Division 26 - Electrical.
- B. Installation, where required, shall be complete, in accordance with manufacturer's written instructions

and the best practices and standards of the trade involved.

END OF SECTION

DIVISION 23 - HEATING, VENTILATING, AND AIR CONDITIONING (HVAC)

SMALL-CAPACITY SPLIT-SYSTEM AIR CONDITIONERS (ADDENDUM #1)

SECTION 23 81 26.13

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.02 SECTION INCLUDES

- A. Forced air furnaces.
- B. Air cooled condensing units.
- C. Indoor air handling (fan and coil) units for ducted systems.
- D. Indoor air handling (fan and coil) units for ductless systems.
- E. Controls.

1.03 REFERENCE STANDARDS

- A. AHRI 210/240 - Standard for Performance Rating of Unitary Air-Conditioning and Air-Source Heat Pump Equipment 2008, Including All Addenda.
- B. AHRI 520 - Performance Rating of Positive Displacement Condensing Units 2004.
- C. ASHRAE Std 15 - Safety Standard for Refrigeration Systems and Designation and Classification of Refrigerants 2019, with Errata (2020).
- D. ASHRAE Std 23.1 - Methods for Performance Testing Positive Displacement Refrigerant Compressors and Condensing Units that Operate at Subcritical Pressures of the Refrigerant 2019.
- E. NEMA MG 1 - Motors and Generators 2018.
- F. NFPA 54 - National Fuel Gas Code 2018.
- G. NFPA 90A - Standard for the Installation of Air-Conditioning and Ventilating Systems 2021.
- H. NFPA 90B - Standard for the Installation of Warm Air Heating and Air-Conditioning Systems 2018.
- I. NFPA 211 - Standard for Chimneys, Fireplaces, Vents, and Solid Fuel-Burning Appliances 2019.
- J. UL 207 - Standard for Refrigerant-Containing Components and Accessories, Nonelectrical Current Edition, Including All Revisions.

1.04 SUBMITTALS

- A. See Section 01 30 00 - Administrative Requirements, for submittal procedures.
- B. Product Data: Provide rated capacities, weights, accessories, electrical nameplate data, and wiring diagrams.
- C. Manufacturer's Instructions: Indicate rigging, assembly, and installation instructions.
- D. Operation and Maintenance Data: Include manufacturer's descriptive literature, operating instructions, installation instructions, maintenance and repair data, and parts listing.

PART 2 - PRODUCTS

2.01 MANUFACTURERS

- A. Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include the following:
 - 1. Carrier Corporation: www.carrier.com/#sle.
 - 2. Guardian.
 - 3. Hitachi.
 - 4. York International Corporation / Johnson Controls: www.york.com/#sle.
 - 5. Daikin.
 - 6. LG.
 - 7. Mitsubishi

2.02 SYSTEM DESIGN

- A. Split-System Heating and Cooling Units: Self-contained, packaged, matched factory-engineered and assembled, pre-wired indoor and outdoor units; UL listed.

1. Heating: Electric-Resistance.
2. Cooling: Outdoor electric condensing unit with evaporator coils in multiple ductless indoor units ("mini-split").
3. Provide refrigerant lines internal to units and between indoor and outdoor units, factory cleaned, dried, pressurized and sealed, with insulated suction line.

B. Performance Requirements: See Drawings for additional requirements.

2.03 INDOOR AIR HANDLING UNITS FOR DUCTED SYSTEMS

A. Indoor Units: Self-contained, packaged, factory assembled, pre-wired unit consisting of cabinet, supply fan, heating and cooling element(s), controls, and accessories; wired for single power connection with control transformer.

1. Air Flow Configuration: Upflow.
2. Cabinet: Steel with baked enamel finish, easily removed and secured access doors with safety interlock switches, glass fiber insulation with reflective liner.

B. Supply Fan: Centrifugal type rubber mounted with direct or belt drive with adjustable variable pitch motor pulley.

1. Motor: NEMA MG 1; 1750 rpm single speed, permanently lubricated, hinge mounted.

C. Air Filters: 1 inch thick urethane, washable type arranged for easy replacement.

D. Evaporator Coils: Copper tube aluminum fin assembly, galvanized or polymer drain pan sloped in all directions to drain, drain connection, refrigerant piping connections, restricted distributor or thermostatic expansion valve.

1. Construction and Ratings: In accordance with AHRI 210/240 and UL 207.
2. Manufacturers: System manufacturer.

E. Electric-Resistance Heating Coil:

1. Open-wire type located in pre-heat position.
2. Nickel chromium element.
3. Interlock with fan motor switch.
4. Factory installed step-down transformer.
5. Unit mounted magnetic relays.
6. High temperature cutout with automatic reset to de-energize the electric heat in event of malfunction.
7. Provide disconnecting means, contactors, and fusing.

2.04 INDOOR AIR HANDLING UNITS FOR DUCTLESS SYSTEMS

A. Indoor Units: Self-contained, packaged, factory assembled, pre-wired unit consisting of cabinet, supply fan, evaporator coil, and controls; wired for single power connection with control transformer.

B. Evaporator Coils: Copper tube aluminum fin assembly, galvanized or polymer drain pan sloped in all directions to drain, drain connection, refrigerant piping connections, restricted distributor or thermostatic expansion valve.

1. Construction and Ratings: In accordance with AHRI 210/240 and UL 207.
2. Manufacturer: System manufacturer

C. Electric-Resistance Heating Coil:

1. Open-wire type located in pre-heat position.
2. Nickel chromium element.
3. Interlock with fan motor switch.
4. Factory installed step-down transformer.
5. Unit mounted magnetic relays.
6. High temperature cutout with automatic reset to de-energize the electric heat in event of malfunction.

2.05 OUTDOOR UNITS

A. Outdoor Units: Self-contained, packaged, pre-wired unit consisting of cabinet, with compressor and condenser.

1. Comply with AHRI 210/240.
 2. Refrigerant: Use only refrigerants that have ozone depletion potential (ODP) of zero and global warming potential (GWP) of less than 50.
 3. Cabinet: Galvanized steel with baked enamel finish, easily removed and secured access doors with safety interlock switches, glass fiber insulation with reflective liner.
 4. Construction and Ratings: In accordance with AHRI 210/240 with testing in accordance with ASHRAE Std 23.1 and UL 207.
- B. Air Cooled Condenser/Heat Pumps: Aluminum fin and copper tube coil, AHRI 520 with direct drive axial propeller fan resiliently mounted, galvanized fan guard.
- C. Accessories: Filter drier, high pressure switch (manual reset), low pressure switch (automatic reset), service valves and gauge ports, thermometer well (in liquid line).
1. Provide thermostatic expansion valves.
- D. Operating Controls:
1. Control by room thermostat to maintain room temperature setting.
 2. Low Ambient Kit: Provide refrigerant pressure switch to cycle condenser fan on when condenser refrigerant pressure is above 285 psig and off when pressure drops below 140 psig for operation to 0 degrees F.

2.06 GAS FURNACE COMPONENTS

- A. Heat Exchanger: Aluminized and stainless steel tubular type.
- B. Insulation: Foil-faced.
- C. Burner: Atmospheric type with adjustable combustion air supply,
1. Gas valve, two stage provides 100 percent safety gas shut-off; 24 volt combining pressure regulation, safety pilot, manual set (On-Off), pilot filtration, automatic electric valve.
 2. Electronic pilot ignition, with electric spark igniter.
 3. Combustion air damper with synchronous spring return damper motor.
 4. Non-corrosive combustion air blower with permanently lubricated motor.
- D. Burner Safety Controls:
1. Thermocouple Sensor: Prevents opening of gas valve until pilot flame is proven and stops gas flow on ignition failure.
 2. Flame Rollout Switch: Installed on burner box and prevents operation.
 3. Vent Safety Shutoff Sensor: Temperature sensor installed on draft hood and prevents operation, manual reset.
 4. Limit Control: Fixed stop at maximum permissible setting, de-energizes burner on excessive bonnet temperature, automatic resets.
- E. Operating Controls:
1. Cycle burner by room thermostat to maintain room temperature setting.
 2. Supply fan energized from bonnet temperature independent of burner controls, with adjustable timed off delay and fixed timed on delay, with manual switch for continuous fan operation.
 3. Provide continuous low speed fan operation.
- F. Flue Termination: Standard roof kit.

2.07 ACCESSORY EQUIPMENT

- A. Room Thermostat: Wall-mounted, electric solid state microcomputer based room thermostat with remote sensor to maintain temperature setting; low-voltage; with following features:
1. Automatic switching from heating to cooling.
 2. Preferential rate control to minimize overshoot and deviation from setpoint.
 3. Programming based on weekdays, Saturday and Sunday.
 4. Thermostat Display:
 - a. Time of day.
 - b. Actual room temperature.
 - c. Programmed temperature.
 - d. Day of week.

- e. System Mode Indication: Heating, Cooling, Fan Auto, Off, and On, Auto or On, Off.
- 5. Lock box to secure thermostat from public.

PART 3 - EXECUTION

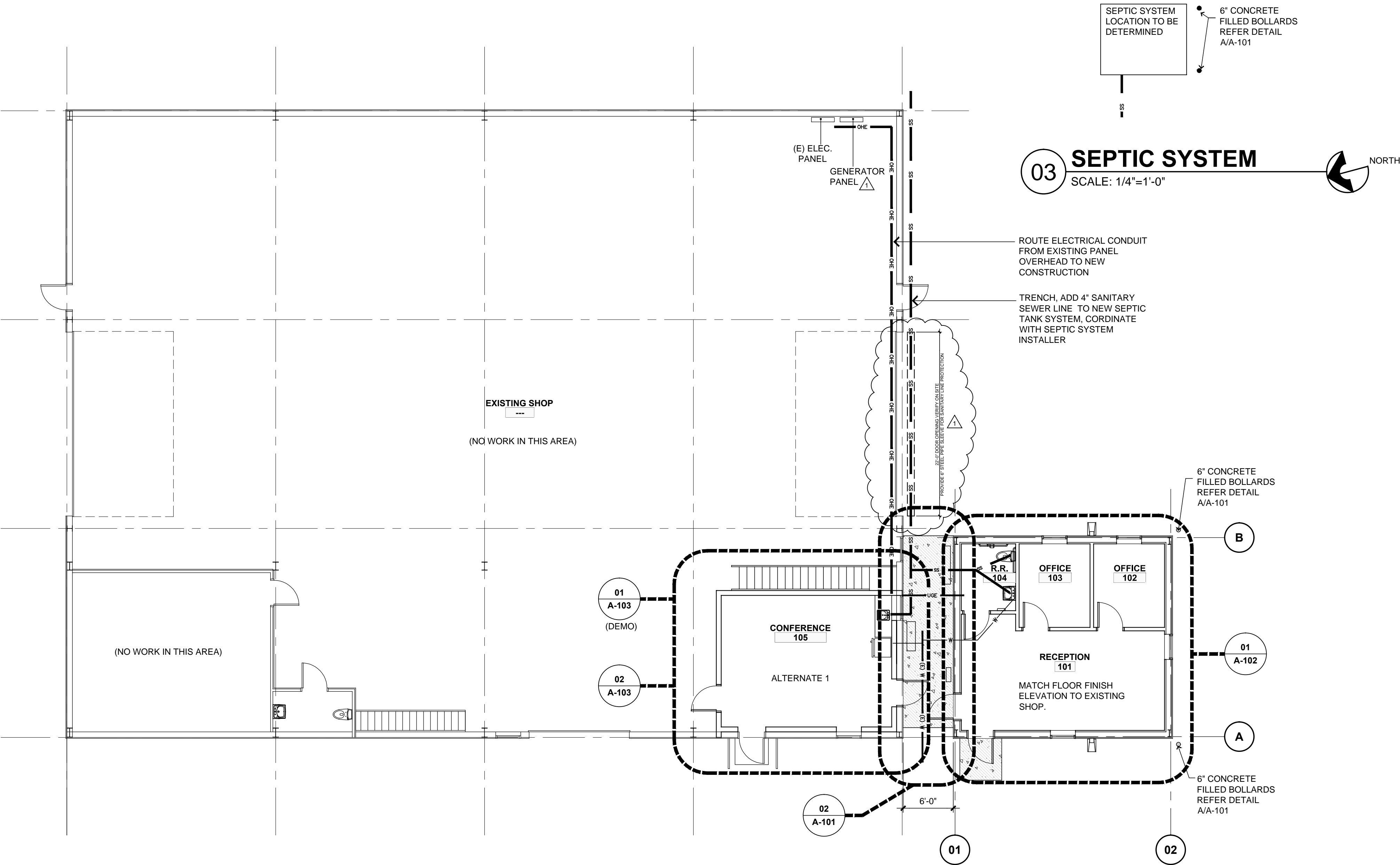
3.01 EXAMINATION

- A. Verify that substrates are ready for installation of units and openings are as indicated on shop drawings.
- B. Verify that proper power supply is available and in correct location.

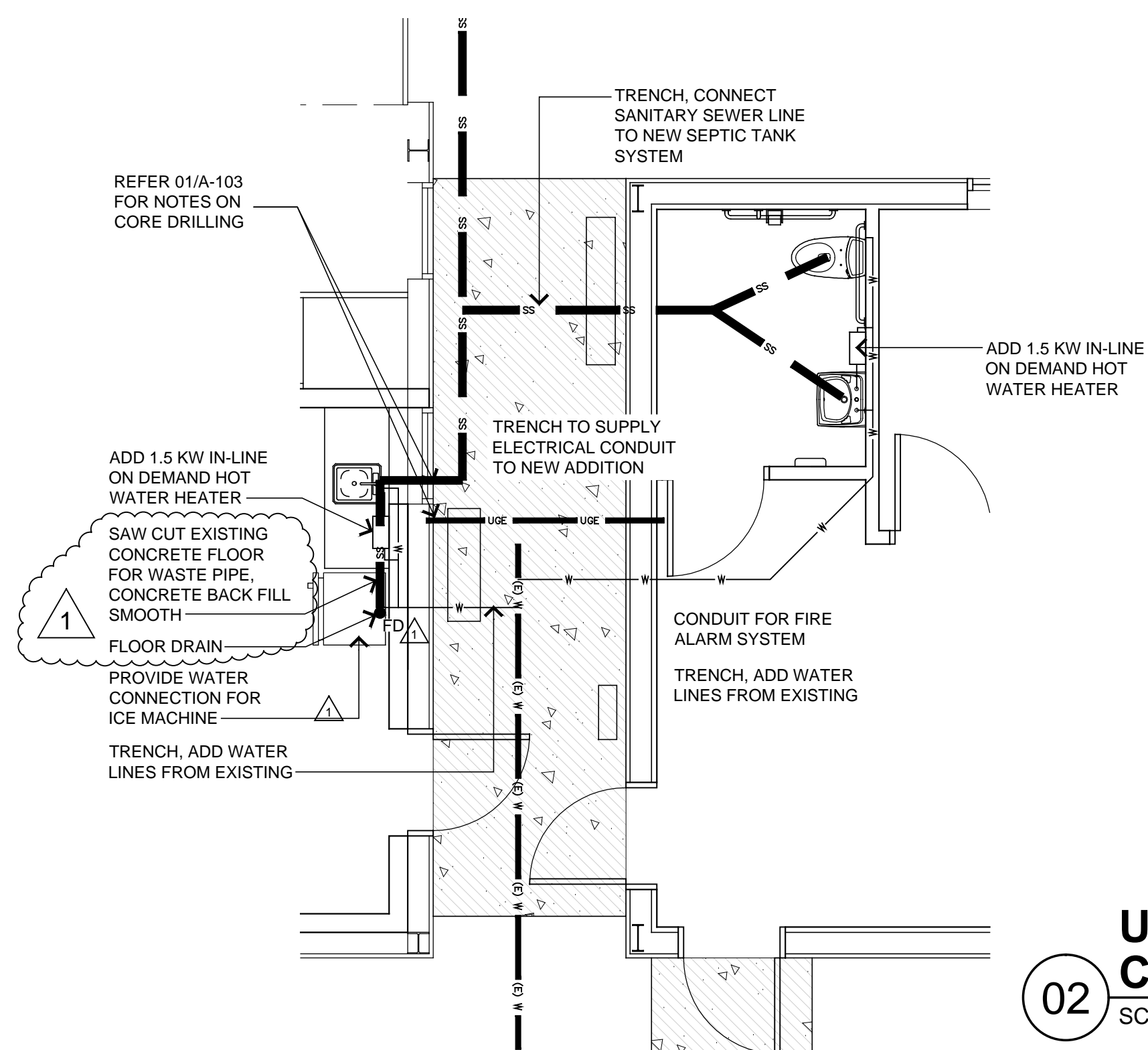
3.02 INSTALLATION

- A. Install in accordance with manufacturer's instructions and requirements of local authorities having jurisdiction.
- B. Install in accordance with NFPA 90A and NFPA 90B.
- C. Install gas fired furnaces in accordance with NFPA 54.
- D. Provide vent connections in accordance with NFPA 211.
- E. Install refrigeration systems in accordance with ASHRAE Std 15.
- F. For any equipment supplied with NFC (Near Field communication) enabled chip the chip must be intact and operable when turned over to the owner. If damaged during construction chip shall be replaced with new.

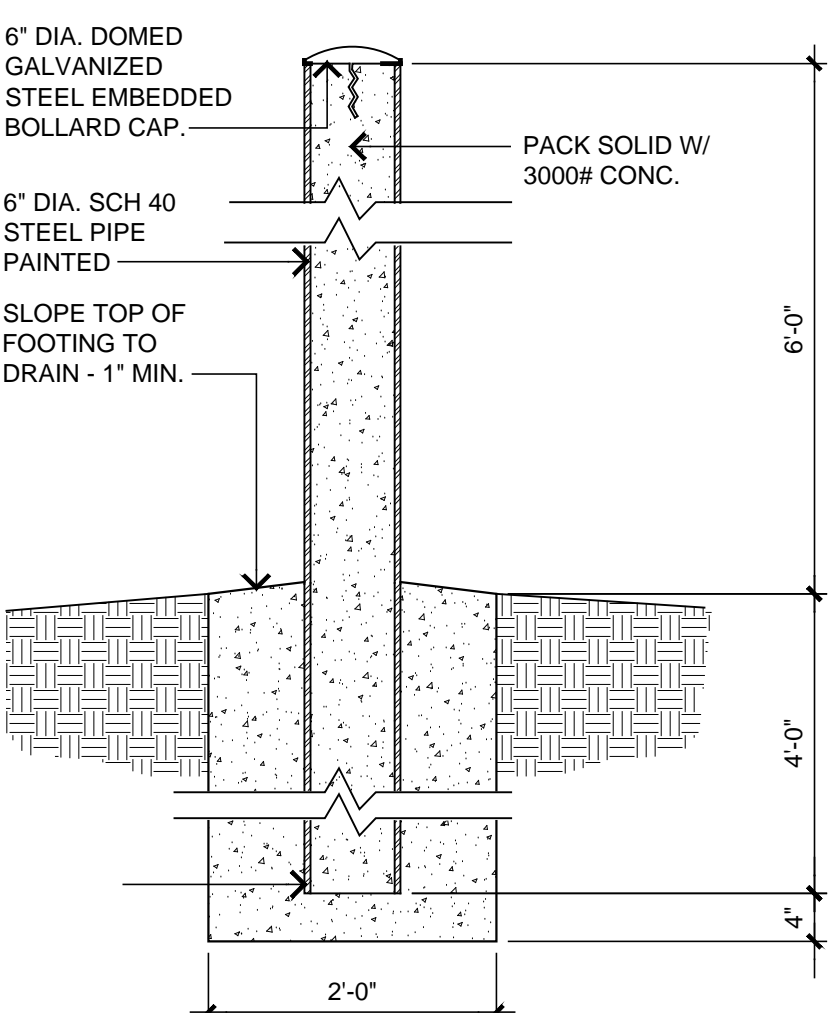
END OF SECTION



01 **OVERALL FLOOR PLAN**
SCALE: 1/8"=1'-0"



02 **UTILITIES AT CONNECTING CORRIDOR**
SCALE: 1/4"=1'-0"



A **BOLLARD DETAIL**
SCALE: 3/4"=1'-0"

GENERAL PLUMBING NOTES:

1. THE ENTIRE PLUMBING SYSTEM SHALL BE IN ACCORDANCE WITH 2018 INTERNATIONAL PLUMBING CODE, AND ALL OTHER GOVERNING STATE AND LOCAL CODES, STATUTES, REGULATIONS, AND REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
2. THE DIAGRAMMATICAL PIPING TO CONNECT PLUMBING FIXTURES ARE NOT SHOWN. CONTRACTOR SHALL COORDINATE ROUTING OF ALL PIPING WITH EXISTING CONDITIONS AND SHALL PROVIDE ANY NECESSARY OFFSETS, REROUTING, TEES, ELBOWS, ETC. REQUIRED FOR A COMPLETE AND COORDINATED INSTALLATION. CONTRACTOR SHALL COORDINATE ALL PIPING WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
3. THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES RELATED TO PERMITTING, INSPECTION, TAP-ON FEES, ETC. THE CONTRACTOR SHALL COORDINATE ANY PLUMBING OR PIPING SYSTEM SHUTDOWN WITH THE OWNER A MINIMUM 48 HOURS IN ADVANCE.
5. ALL DOMESTIC WATER, VENT PIPING SHOULD BE ABOVE CEILING, OR WITHIN WALLS UNLESS NOTED OTHERWISE.
6. ALL SANITARY SEWER AND OTHER WASTE PIPING SHOULD BE BELOW SLAB, BELOW FLOOR, OR WITHIN WALLS UNLESS NOTED OTHERWISE.
7. INSTALL WATER HAMMER ARRESTORS ON WATER LINES CONNECTED TO SOLENOID VALVES OR FLUSH VALVES. SIZE, LOCATE, AND INSTALL IN ACCORDANCE WITH POI STANDARD WH201. PROVIDE ACCESS PANELS UNLESS OTHERWISE NOTED.
8. INSTALL ISOLATION VALVES IN PIPING CONNECTION TO EACH INDIVIDUAL FIXTURE, PIECE OF EQUIPMENT, AND FIXTURE GROUPS.
9. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODE AND REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
10. PROVIDE ASSE 1070 THERMOSTATIC MIXING VALVES AS REQUIRED AT HANDWASHING AS REQUIRED BY LOCAL CODES.
11. TEST ALL PIPING SYSTEMS IN ACCORDANCE WITH SPECIFICATIONS AND AS REQUIRED BY LOCAL CODE AND AUTHORITY HAVING JURISDICTION.

PLAN LEGEND

	NEW, METAL STUD WALL
	(E) WALLS
	OVERHEAD COMPONENTS
	NEW CONC. SIDE WALK

GENERAL FLOOR PLAN NOTES:

1. NEW 2ND STORY DECK PLANS ARE REFERENCED ON 03/A-103 & 04/A-103.
2. MANAGE POSITIVE SITE DRAINAGE AWAY FROM BUILDING W/ MIN. 1% SLOPE.

GENERAL ELETRICAL NOTES:

1. DRAWINGS ARE DIAGRAMMATIC ONLY AND REPRESENT THE GENERAL SCOPE OF THE WORK. REVIEW ALL GENERAL NOTES, SPECIFICATIONS AND PLANS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
2. IN GENERAL, ALL RACEWAYS SHALL BE CONCEALED WITHIN WALLS, ABOVE CEILINGS, WHERE EXPOSED CONDITIONS ARE NECESSARY OR UNAVOIDABLE DUE TO OTHER CONDITIONS, THE CONTRACTOR SHALL INCLUDE ANY REASONABLE MEANS TO MINIMIZE THE AMOUNT OF SURFACE MOUNTED EQUIPMENT. PRIOR TO ROUGH-IN, COORDINATE ALL RACEWAY AND BOX CONDITIONS WITH ARCHITECT OR OWNER PRIOR TO CONSTRUCTION OF WALLS. ATTACHMENT TO ROOF DECK OR JOIST WEBBINGS IS NOT ALLOWED. MAINTAIN A MINIMUM SPACING OF 1-1/2" FROM CONDUIT TO ROOF DECK. IN AREAS WHERE EXPOSED RACEWAYS ARE REQUIRED, INSTALL SYSTEMS SQUARE AND TIGHT TO STRUCTURE AND PAINT TO MATCH THE STRUCTURE PER ARCHITECT AND/OR OWNER SPECIFICATIONS. FAILURE TO PROPERLY COORDINATE THE ROUTING OF EXPOSED RACEWAYS MAY RESULT IN RELOCATION OF SUCH RACEWAYS AT NO ADDITIONAL COST TO THE OWNER.
3. FIELD MOUNTED RECEPTACLES ARE SHOWN IN THEIR APPROXIMATE LOCATION. AND RECEPTACLE MOUNTING HEIGHT SHALL BE 18" ABOVE FINISHED FLOOR, UON. COORDINATE EXACT MOUNTING HEIGHT OF EACH ABOVE COUNTER RECEPTACLE WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.
4. COORDINATE ALL CEILING MOUNTED ELECTRICAL ITEMS WITH OTHER DISCIPLINES, WITH CEILING, AND STRUCTURE. REFER TO REFLECTED CEILING PLAN.
5. FIELD VERIFY LOCATIONS OF EXISTING ELECTRICAL EQUIPMENT, INCLUDING TELEPHONE PEDESTALS, PANELS, DEVICES, ETC. PROVIDE FOR COORDINATION WITH EXISTING EQUIPMENT.
6. CONTRACTOR SHALL PROVIDE FINALIZED PANELBOARD SCHEDULES AT COMPLETION OF PROJECT WITH OWNER PROVIDED ROOM NAMES/NUMBERS.
7. POWER WIRING SHALL BE COPPER STRANDED CONDUCTOR WITH 75% INSULATION RATED 600 VOLTS. MINIMUM WIRE SIZE OF POWER WIRING SHALL BE #12 AWG. LIGHTING AND RECEPTACLE BRANCH CIRCUIT WIRING SHALL BE #12 AWG UNLESS OTHERWISE NOTED ON DRAWINGS OR SCHEDULES.
8. ALL WORK IS TO BE PERFORMED IN STRICT COMPLIANCE WITH THE 2020 NEC CODE, STATE LAWS, ALL AUTHORITIES HAVING JURISDICTION, AND ALL OTHER REGULATIONS GOVERNING WORK OF THIS NATURE.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK, MATERIAL, AND LABOR TO SATISFY A COMPLETE AND WORKING SYSTEM WHETHER SPECIFIED OR IMPLIED. CONTRACTOR TO CONFIRM EXACT LOCATION OF EXISTING AND NEW EQUIPMENT.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL GROUNDING SYSTEMS (AS REQUIRED) IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE.
12. ALL ELECTRIC MATERIALS AND EQUIPMENT FOR THE PROJECT SHALL BE NEW AND U.L. OR EQUALLY LISTED. SUBMIT TO THE OWNER CERTIFICATES OF INSPECTIONS IN DUPLICATE FROM AN APPROVED INSPECTION AGENCY UPON COMPLETION.
14. THE CONTRACTOR SHALL SECURE ALL PERMITS OR APPLICATIONS AND PAY ANY AND ALL FEES AS REQUIRED. THE CONTRACTOR SHALL FURNISH ALL INSTRUMENTS AND QUALIFIED PERSONNEL OR FIRM TO PERFORM ALL REQUIRED TESTS.
16. NO EQUIPMENT SHALL BE ENERGIZED UNTIL ALL TEST AND ADJUSTMENTS HAVE BEEN MADE. THREE COPIES OF ALL TEST RESULTS SHALL BE DELIVERED TO THE OWNER.
17. JUNCTION BOXES LOCATED ABOVE GRID CEILINGS SHALL BE LOCATED NO GREATER THAN 4-FEET ABOVE THE CEILINGS IN A LOCATION ACCESSIBLE VIA A LADDER FROM THE ROOM BELOW.
18. ALL WIRING DEVICE COVERPLATES SHALL INDICATE PANELBOARD AND CIRCUIT SERVING THE DEVICE. UTILIZE CLEAR VINYL (BLACK LETTERING) IDENTIFICATION LABELS MANUFACTURED BY 3M COMPANY (OR APPROVED EQUIVALENT).
19. ALL RECEPTACLES SHALL BE GROUNDING TYPE.
20. ALL RECEPTACLES INSTALLED IN KITCHENS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION AS REQUIRED BY THE NATIONAL ELECTRIC CODE.
21. COORDINATE AND VERIFY EACH PIECE OF OWNER PROVIDED EQUIPMENTS POWER/CONTROL REQUIREMENTS PRIOR TO ORDERING RELATED ELECTRICAL EQUIPMENT.
22. ALL OUTLETS LOCATED IN AREAS REQUIRING GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC-2020 SHALL CONSIST OF A GFCI PROTECTED DEVICE, EVEN IF NOT SPECIFICALLY INDICATED IN THE DRAWINGS. THE GROUND-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION AS DEFINED IN THE NEC. ALL RECEPTACLES SUPPLIED THROUGH A GROUND-FAULT CIRCUIT INTERRUPTER SHALL BE MARKED "GFCI PROTECTED." IF GFCI RECEPTACLE IS NOT ACCESSIBLE, E.C. SHALL PROVIDE A GFCI BREAKER.
23. PROVIDE TAMPER RESISTANT RECEPTACLES AS REQUIRED BY NEC. PROVIDE AFCI PROTECTION AND COMBINATION-TYPE ARC/GFI PROTECTION AS REQUIRED BY NEC INCLUDING KITCHEN AREAS.
24. DEVICES IN CUSTOMER AREAS SHALL BE GRAY IN COLOR AND HAVE STAINLESS STEEL COVER PLATES. DEVICES IN BACK OF HOUSE AREAS SHALL BE WHITE IN COLOR WITH WHITE PLASTIC COVERS.

REVISIONS

REV.	DATE	DESCRIPTION
Δ	08/21/24	ADDENDUM #1

PROJ. MANAGER:	GL
DRAWN BY:	STAFF
CHECKED BY:	GL

DATE:	07/10/2024
PROJECT NO.:	2405

SHEET TITLE:	OVERALL FLOOR PLAN
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SHEET NO.:	A-101
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GENERAL NEW ADDITION FLOOR PLAN
NOTES:

1. FIELD VERIFY ALL DIMENSIONS.
2. FIELD VERIFY ALL CURRENT UTILITY LOCATIONS

NEW ADDITION FLOOR PLAN
KEY NOTES (XX):

1. WALL MOUNT SPLIT UNIT LOCATION
2. ALL LIGHTING & RECEPTACLES TO BE WIRED THROUGH GENERATOR. (A)

PLAN LEGEND

(E)	EXISTING
(XX)	NEW, METAL STUD WALL
DS	PARTITION TYPE
DS	DOWNSPOUT W/ CON. SPLASH BLOCK
S	SINK
M	MIRROR
GB18	18" VERTICAL GRAB BAR
GB36	36" VERTICAL GRAB BAR
GB42	42" VERTICAL GRAB BAR
HCWC	ACCESSIBLE WATER CLOSET
⊕	DUPLEX RECEPTACLE
⊕	QUAD RECEPTACLE
▲	CAT 6 DATA



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SEAL:



07/10/2024

KINGFISHER COUNTY
DISTRICT 1 SHOP ADDITION
KINGFISHER, OKLAHOMA

16470 E 750 RD

REVISIONS

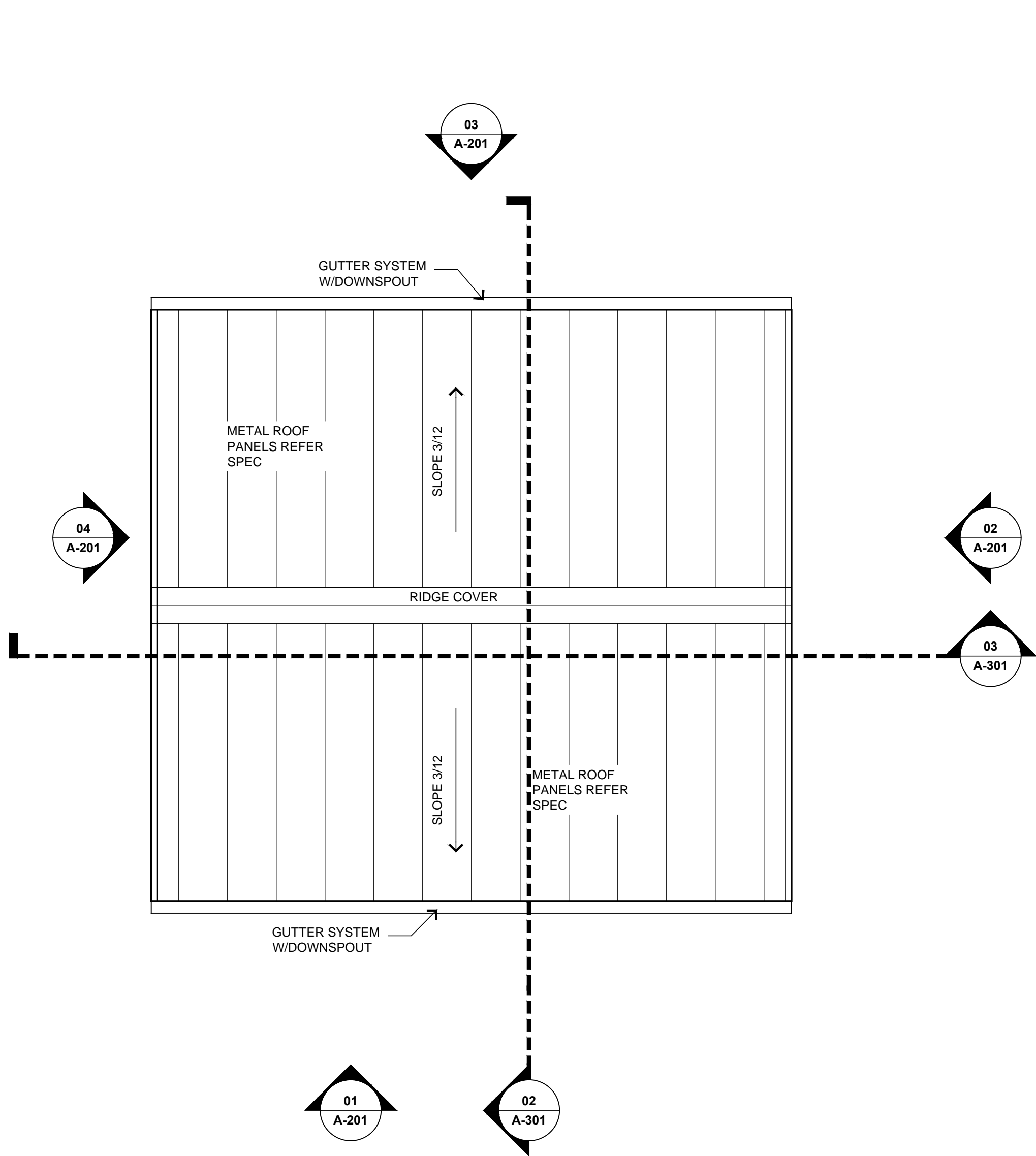
REV.	DATE	DESCRIPTION
1	08/20/24	ADDENDUM #1

PROJ. MANAGER: GL
DRAWN BY: STAFF
CHECKED BY: GL

DATE: 07/10/2024
PROJECT NO.: 2405

SHEET TITLE:
NEW ADDITION
FLOOR PLAN

SHEET NO.:
A-102



02 ROOF PLAN
NEW ADDITION
SCALE: 1/4"=1'-0" NORTH

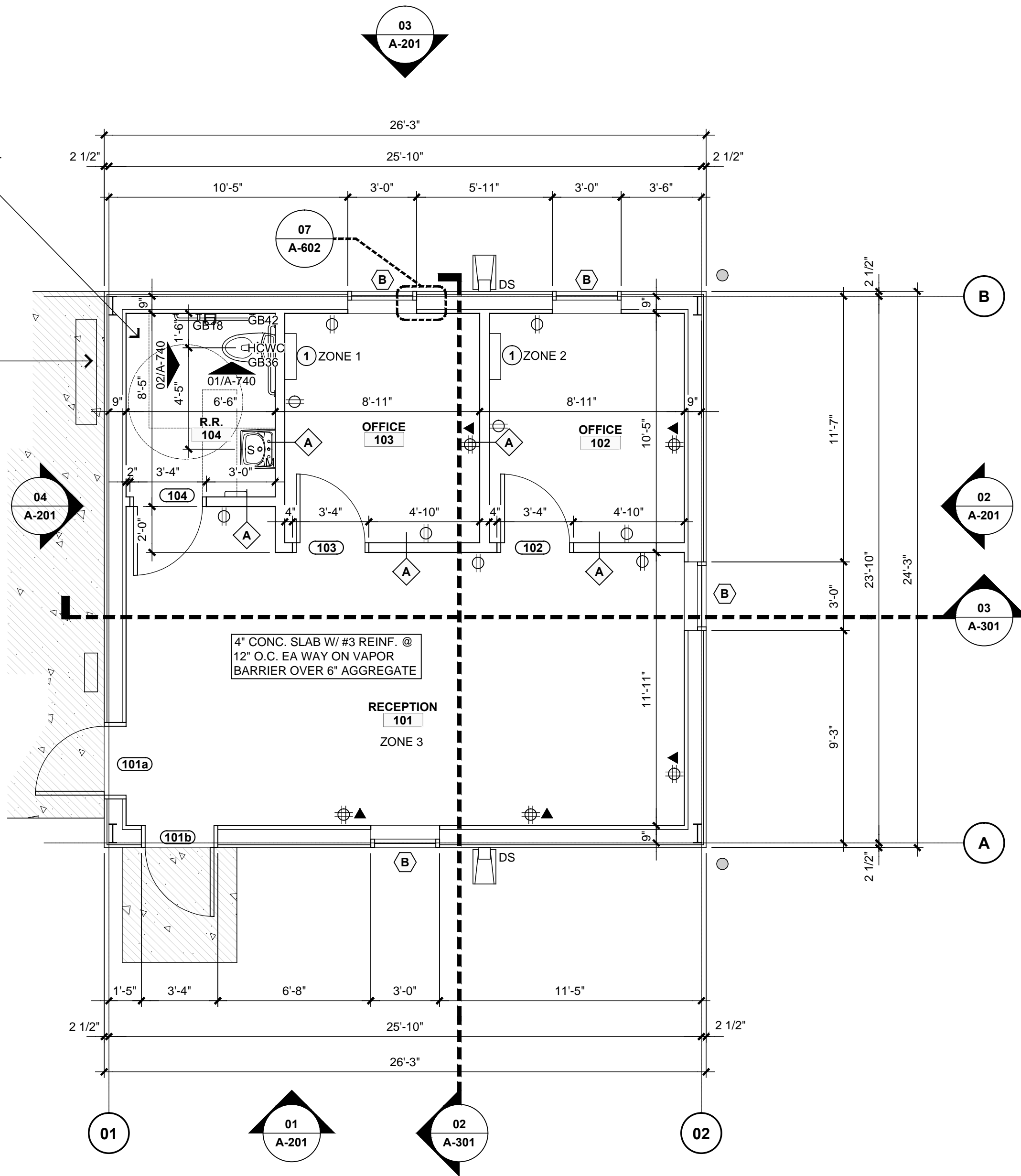
REFER TO 01/A-111
FOR FRESH AIR/EXHAUST
UNIT LOCATED ABOVE
CEILING.

MINI SPLIT SYSTEM
W/ 20 SEER 25,000
BTU HEAT PUMP
CONDENSER.
REF. SPEC

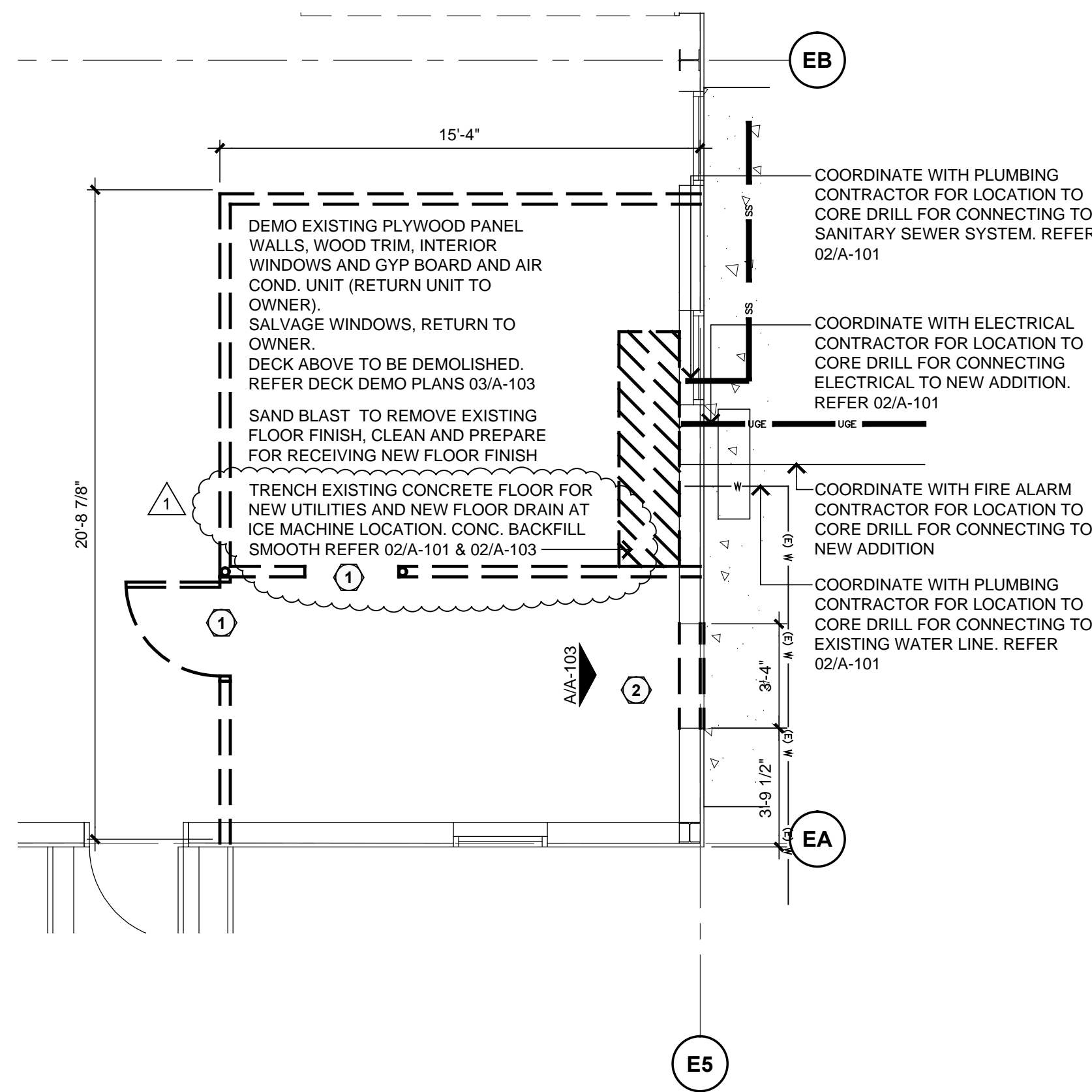
ZONE 1: 6,000 WALL
MOUNT (RM 103)

ZONE 2: 6,000 WALL
MOUNT

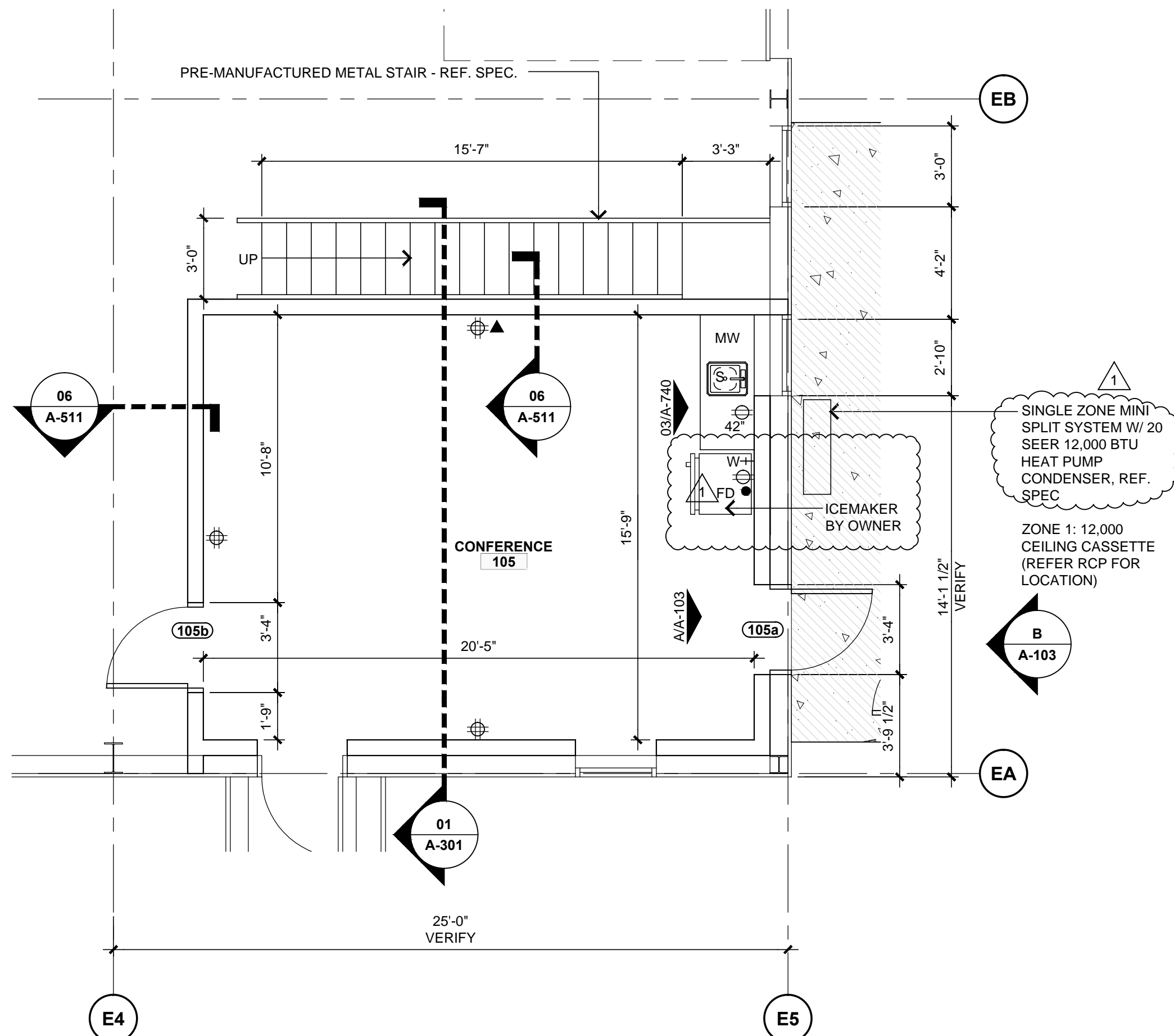
ZONE 3: 9,000 CEILING
CASSETTE (REFER
RCP FOR LOCATION)



01 FLOOR PLAN
NEW ADDITION
SCALE: 1/4"=1'-0" NORTH



01 DEMO PLAN
EXISTING SHOP - ALTERNATE 1
SCALE: 1/4"=1'-0" NORTH



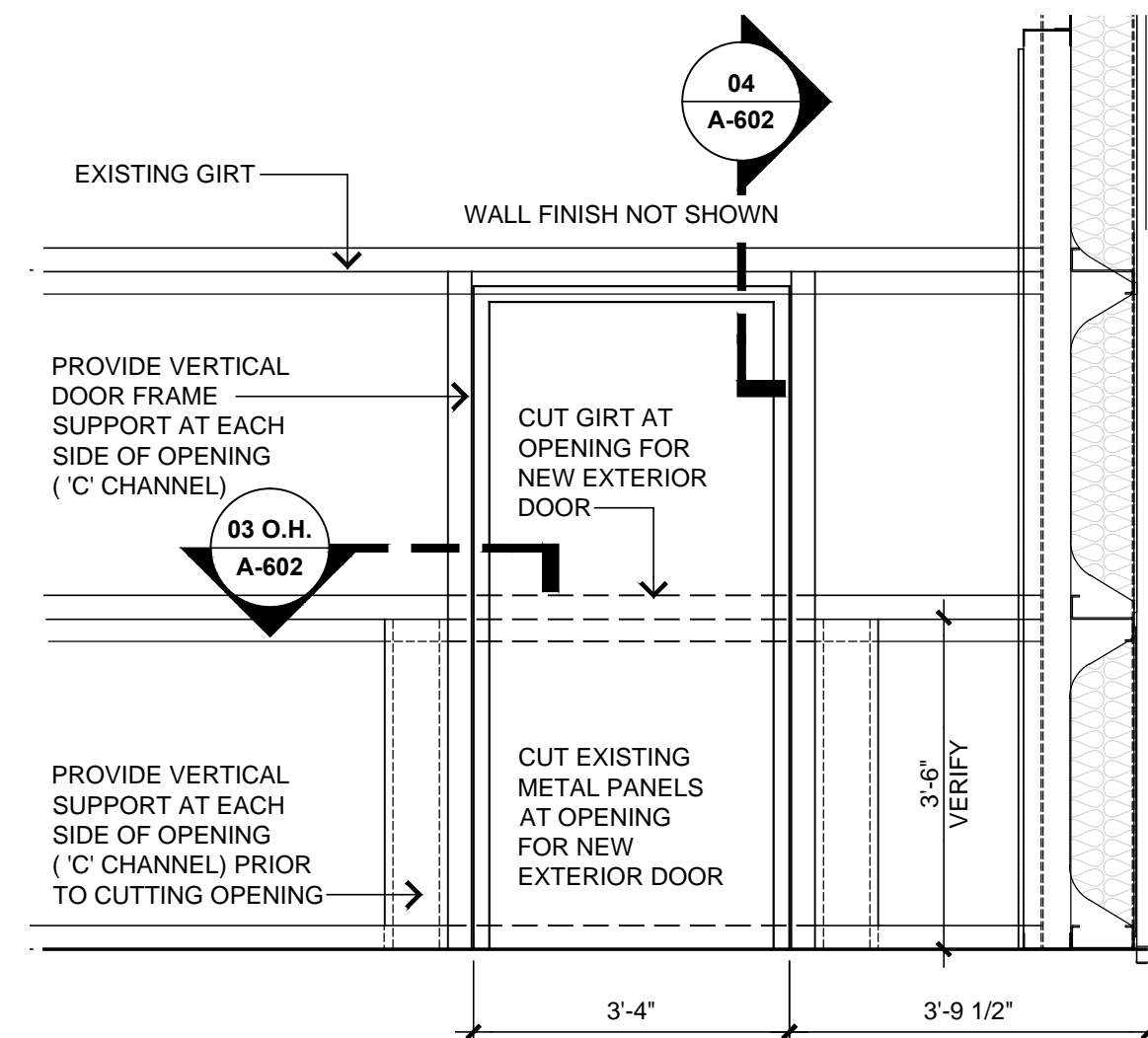
02 FLOOR PLAN
RENOVATION - ALTERNATE 1
SCALE: 1/4"=1'-0" NORTH

- GENERAL FLOOR PLAN NOTES:
1. FIELD VERIFY ALL DIMENSIONS
 2. PROTECT ALL EXISTING WALLS TO REMAIN. REPAIR AS REQUIRED TO ACCEPT NEW FINISHES.
 3. THE CONCRETE FOUNDATION AND SLAB DESIGN SHALL BE FURNISHED BY THE METAL BUILDING SUPPLIER OR THE GENERAL CONTRACTOR BASED ON THE ACTUAL FRAME REACTIONS SUPPLIED BY THE METAL BUILDING MANUFACTURER.
 4. REFER TO 02/A-101 FOR UTILITY LOCATIONS.
 5. LIGHTING & RECEPTACLES TO BE WIRED THROUGH GENERATOR.

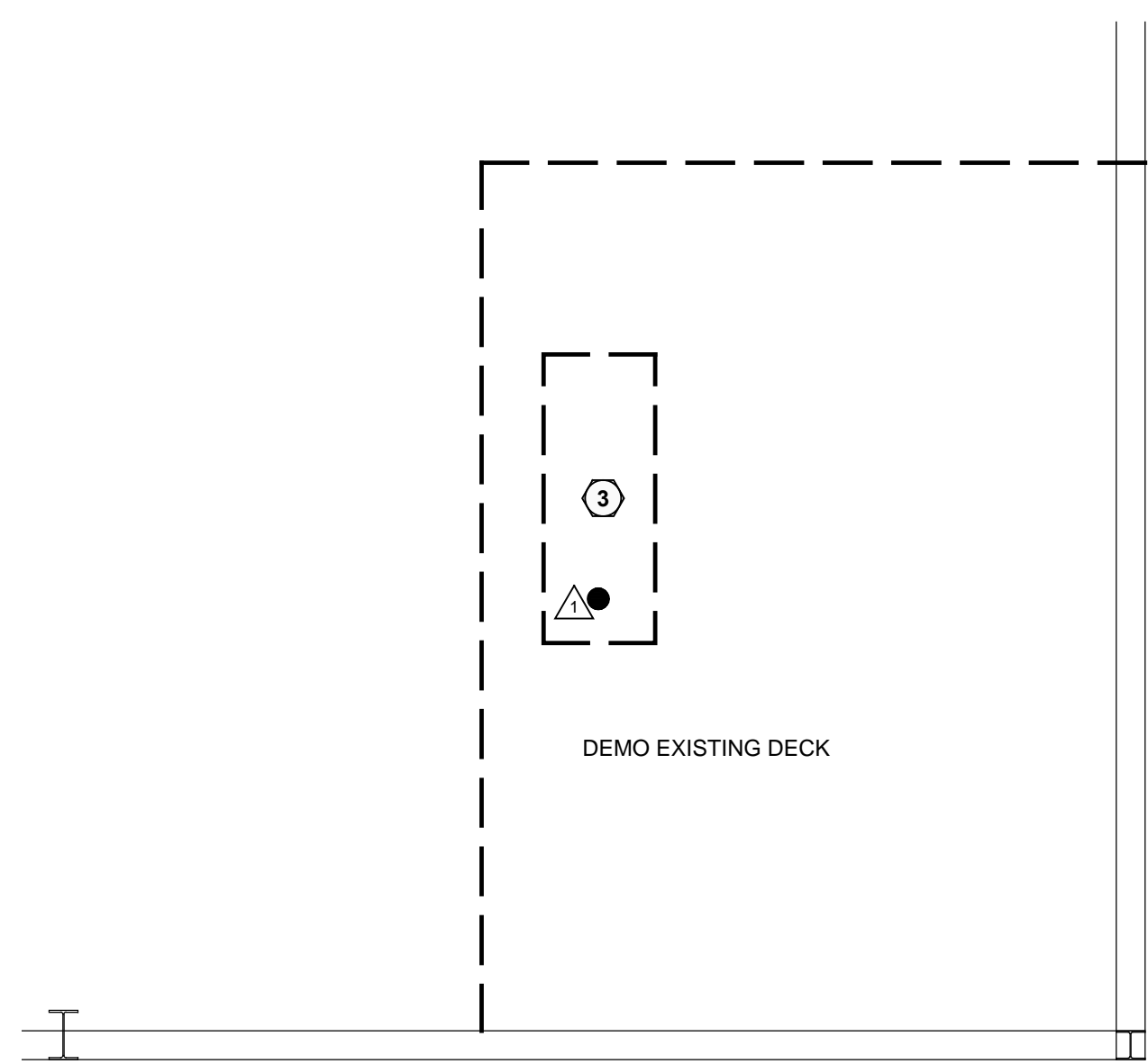
- DEMO PLAN KEY NOTES (X):
1. DEMO (E) WALLS AND DOORS. PREP FOR NEW WALLS AND DOORS; REF. 02/A-103.
 2. CUT GIRT AND METAL PANELS AT NEW DOOR LOCATION, REFER A/A-103. PREP FOR NEW DOOR OPENING; REFER PLAN 02/A-103.
 3. SALVAGE (E) HEATER AND CAP FLUE AFTER REMOVAL; CAP ALL SUPPLIES TO UNIT. RE-INSTALL UPON COMPLETION OF NEW UPPER DECK. PROVIDE ALL REQUIRED MATERIAL TO RE-CONNECT ALL PREVIOUS CONNECTIONS.

PLAN LEGEND

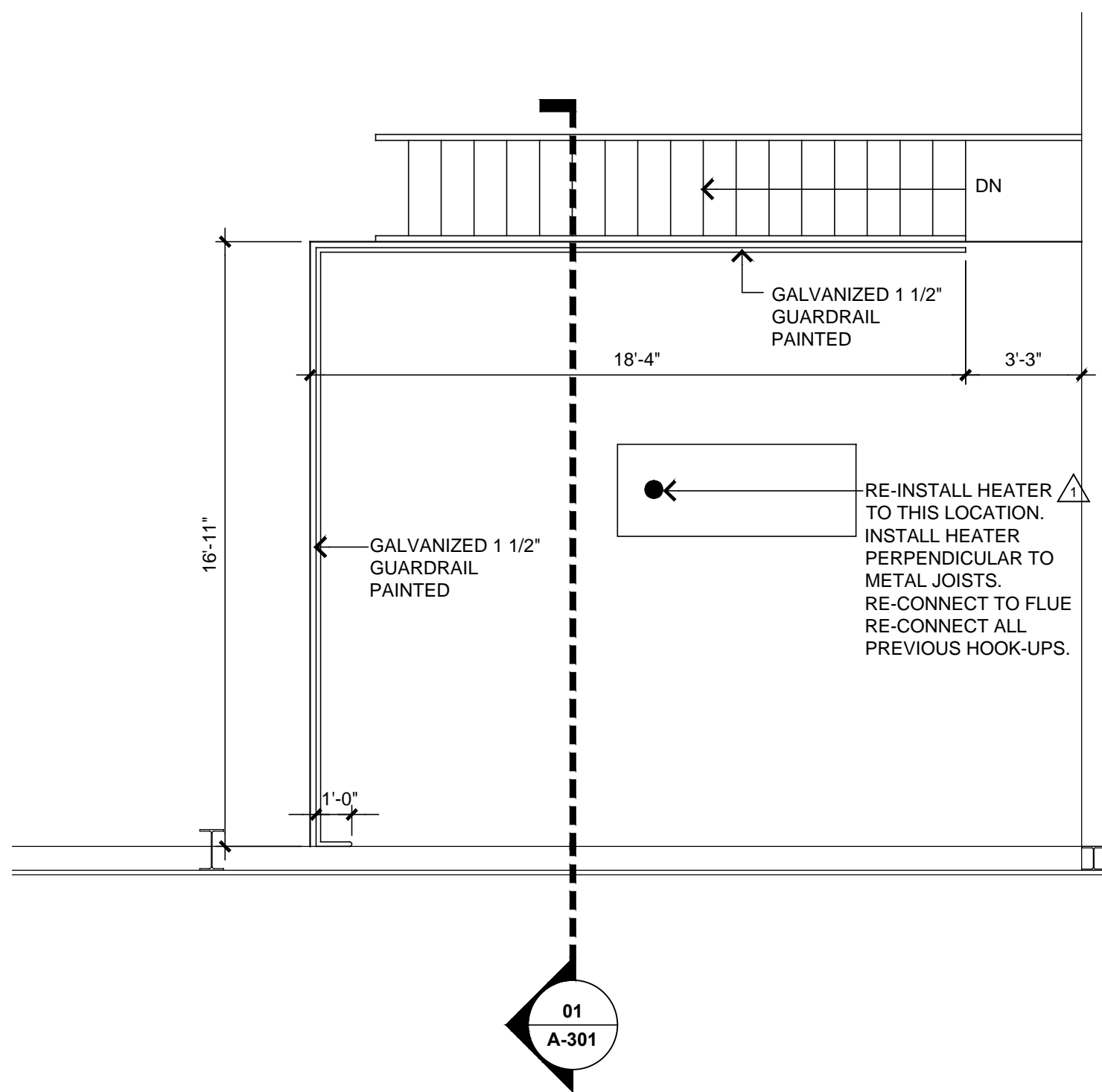
(E)	EXISTING
[Symbol]	NEW, METAL STUD WALL
[Symbol]	(E) WALLS
[Symbol]	DEMO
[Symbol]	PARTITION TYPE
MW	MILLWORK
S	SINK
W	WATER CONNECTION FOR REFRIGERATOR



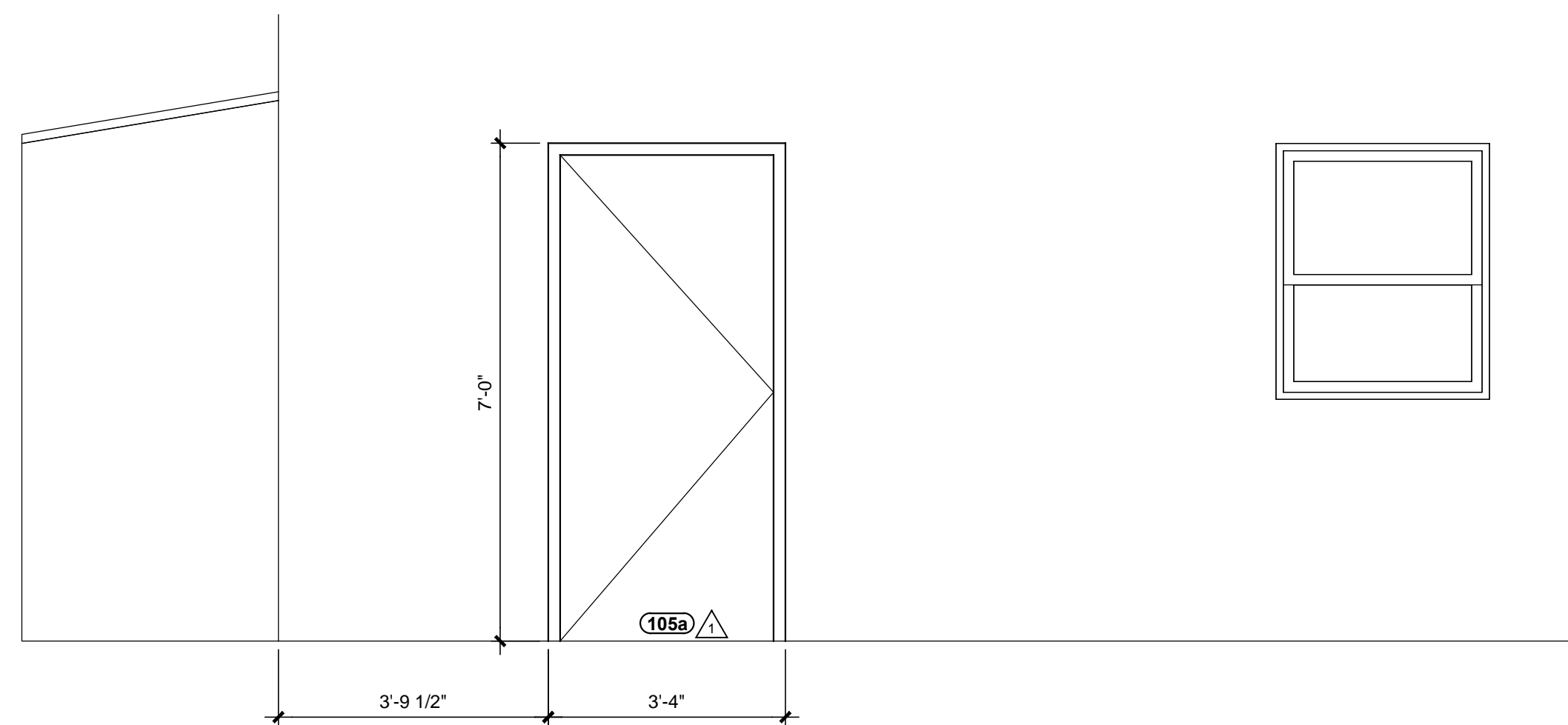
A ALTERNATE #1 - INTERIOR DEMO
ELEVATION AT NEW EXTERIOR DOOR
SCALE: 1/2"=1'-0" 01/A-103



03 DEMO FLOOR PLAN
DECK- ALTERNATE 1
SCALE: 1/4"=1'-0" NORTH



04 NEW FLOOR PLAN
DECK- ALTERNATE 1
SCALE: 1/4"=1'-0" NORTH



B ALTERNATE #1 - PARTIAL EXTERIOR
ELEVATION AT NEW DOOR
SCALE: 1/2"=1'-0" 01/A-103



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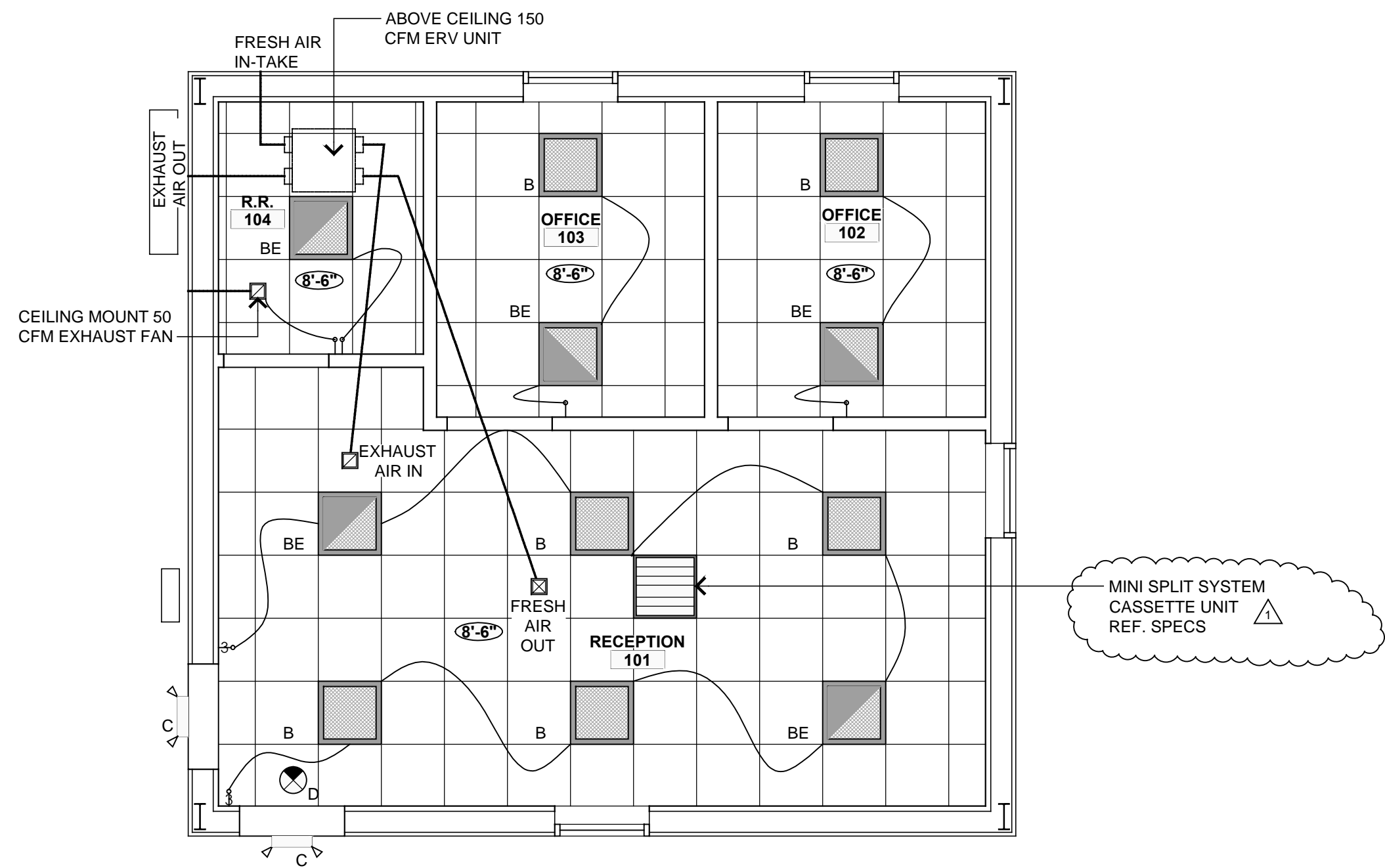
REV.	DATE	DESCRIPTION
1	08/21/24	ADDENDUM #1

PROJ. MANAGER: GL
DRAWN BY: STAFF
CHECKED BY: GL

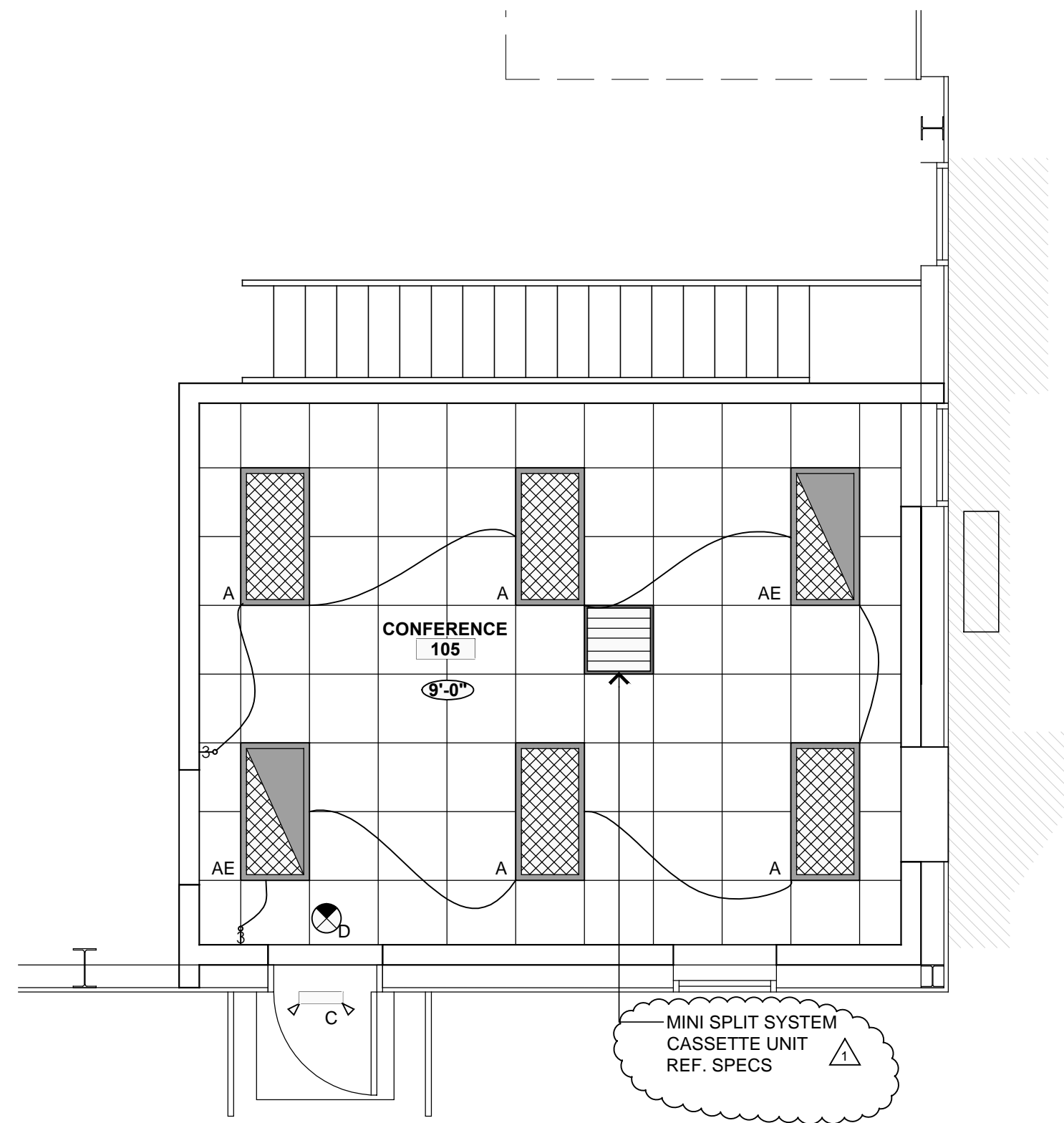
DATE: 07/10/2024
PROJECT NO.: 2405

SHEET TITLE:
EXISTING SHOP
FLOOR PLAN
ALTERNATE #1
SHEET NO.:

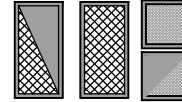


A-103

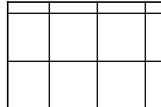



01
**NEW ADDITION
REFLECTIVE CEILING PLAN**
SCALE: 1/4"=1'-0" 





02
**RENOVATION - ALTERNATE 1
REFLECTIVE CEILING PLAN**
SCALE: 1/4"=1'-0" 


SYMBOL LEGEND:	
	EMERGENCY TROFFERS, FLAT PANEL DROP-IN TROFFERS
	SINGLE POLE SWITCH
	THREE-WAY SWITCH

CEILING LEGEND:	
	2 x 2 GRID CEILING BY ARMSTRONG OPTIMA 15/16 SQUARE LAY-IN 24 X 24 X 3/4 SUSPENSION SYSTEM: PRELUDE 15/16" BLIZZARD WHITE

GENERAL NOTES:	
1.	CEILING HEIGHTS VARY BETWEEN THE EXISTING SPACE AND NEW EDITION.
2.	LIGHTING VENDOR: LESLIE ARMITAGE; BELL & MCCOY LARMITAGE@BELLANDMCCOY.COM
3.	ALL LIGHTING TO BE WIRED THROUGH GENERATOR PANEL 

LIGHTING SCHEDULE:	
A AE	FIELD ADJUSTABLE 2 X 4 EDGE LIT PANEL: ATLAS AMERICAN LIGHTING FAELP-22-LED-U/SMK22 BELL & MCCOY  EMERGENCY BACKUP: FAELP-22-LED-U-EB/SMK22
B BE	FIELD ADJUSTABLE 2 X 2 EDGE LIT PANEL: ATLAS AMERICAN LIGHTING FAELP-24-LED-U/SMK24 BELL & MCCOY  EMERGENCY BACKUP: FAELP-24-LED-U-EB/SMK24
C	LED WALL PACK: CURRENT EVOLVE EWAS A SERIES PHOTO ELECTRIC SENSOR CAPABILITIES BELL & MCCOY
D	EXIT & EMERGENCY: ATLAS AMERICAN LIGHTING EXPRWR BELL & MCCOY

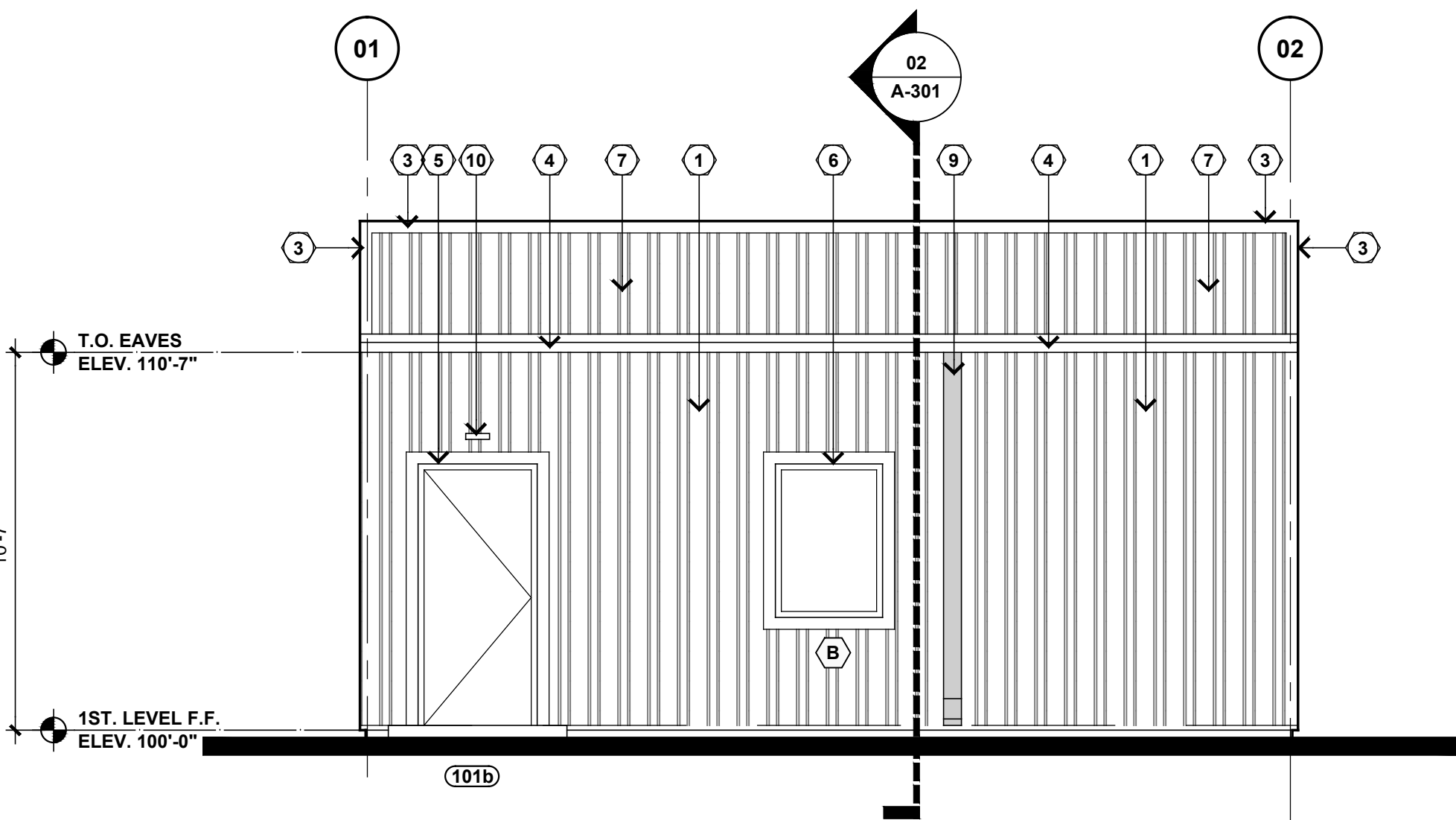
GENERAL MECHANICAL NOTES:	
1.	DRAWINGS ARE DIAGRAMMATIC ONLY AND REPRESENT THE GENERAL SCOPE OF THE WORK. REVIEW ALL GENERAL NOTES, SPECIFICATIONS AND PLANS FOR ADDITIONAL REQUIREMENTS THAT MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
2.	THE ENTIRE MECHANICAL SYSTEM SHALL BE IN ACCORDANCE WITH 2016 INTERNATIONAL MECHANICAL CODE, AND ALL OTHER GOVERNING STATE AND LOCAL CODES, STATUTES, REGULATIONS, AND REQUIREMENTS OF AUTHORITY HAVING JURISDICTION.
3.	THE DIAGRAMMATICAL DUCT TO CONNECT DIFFUSERS ARE NOT SHOWN. CONTRACTOR SHALL COORDINATE ROUTING OF ALL DUCT WORKS AND SHALL PROVIDE ANY NECESSARY MATERIAL. PARTS REQUIRED FOR A COMPLETE AND COORDINATED INSTALLATION. CONTRACTOR SHALL COORDINATE ALL MECHANICAL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION.

REVISIONS		
REV.	DATE	DESCRIPTION
	08/21/24	ADDENDUM #1

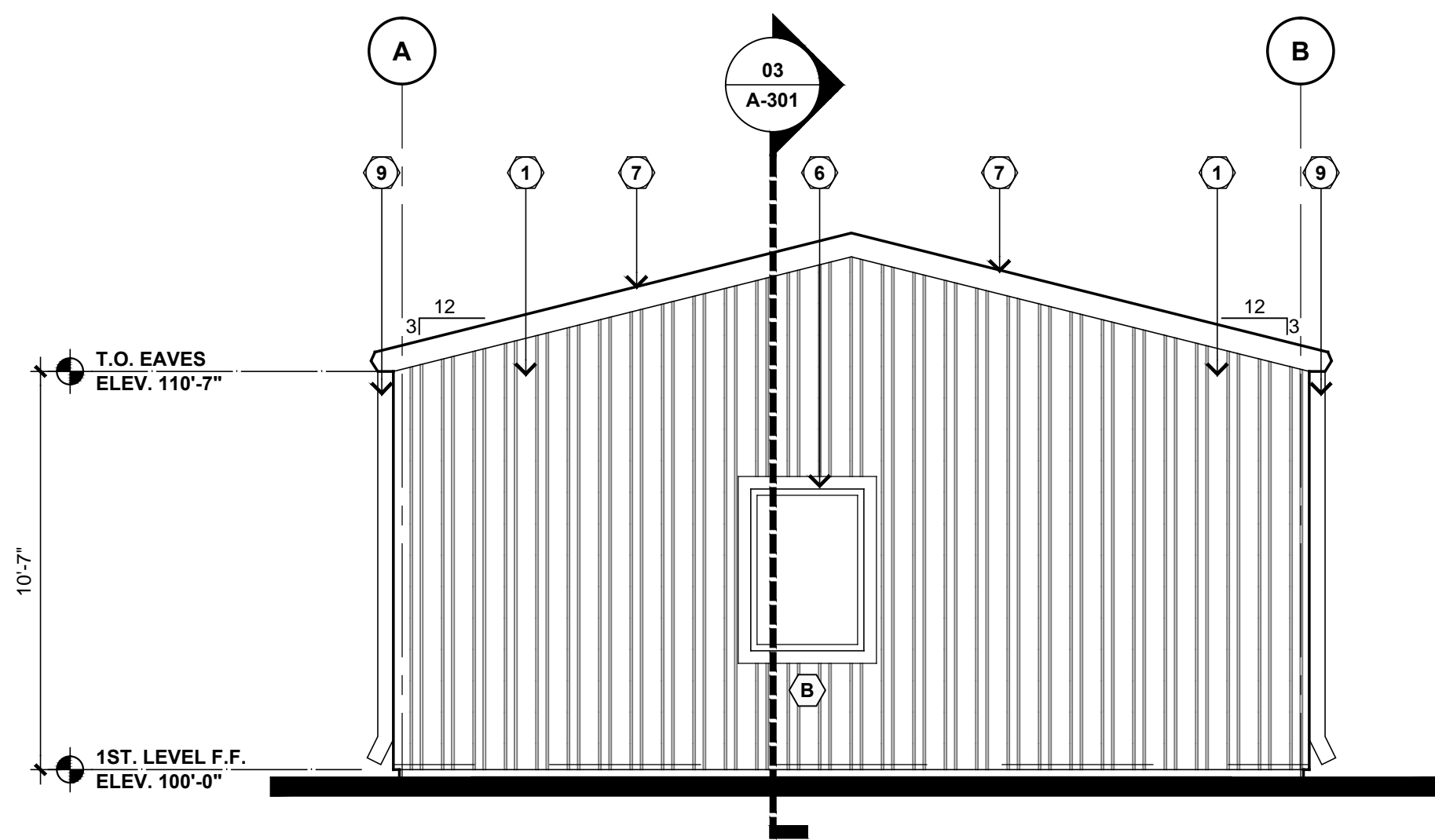
PROJ. MANAGER:	GL
DRAWN BY:	STAFF
CHECKED BY:	GL

DATE:	07/10/2024
PROJECT NO.:	2405

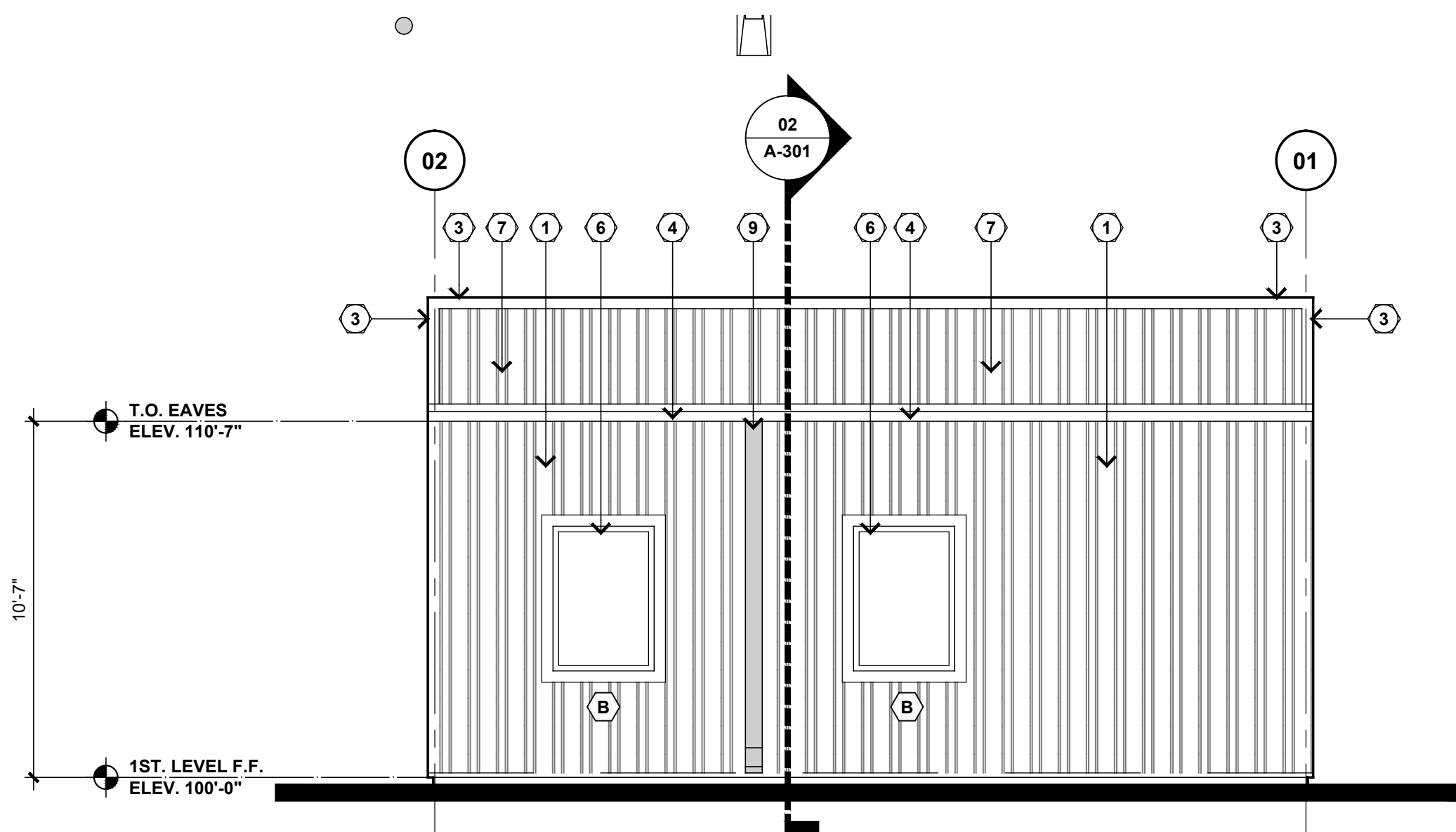
SHEET TITLE:	REFLECTED CEILING PLAN
SHEET NO.:	A-111



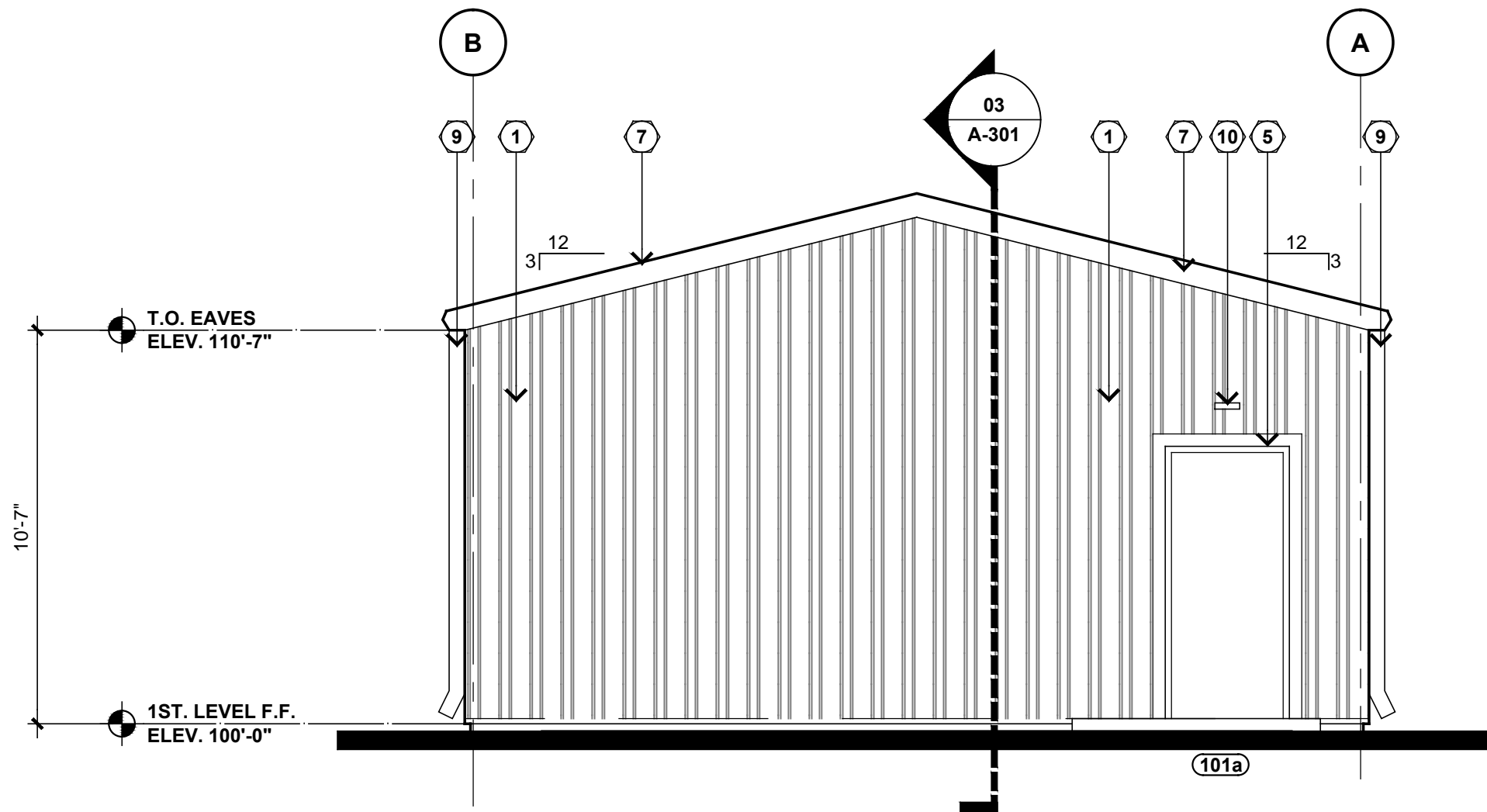
01 WEST ELEVATION
SCALE: 1/4"=1'-0" 01/A-101



02 SOUTH ELEVATION
SCALE: 1/4"=1'-0" 01/A-101



03 EAST ELEVATION
SCALE: 1/4"=1'-0" 01/A-101



04 NORTH ELEVATION
SCALE: 1/4"=1'-0" 01/A-101

ELEVATION KEYNOTES (⊗): △

1. PRE-FINISHED METAL WALL PANELS;
MATCH EXISTING.
2. PRE-FINISHED METAL FLASHING;
MATCH EXISTING.
3. PR-FINISHED METAL RAKE FLASHING;
MATCH EXISTING.
4. PRE-FINISHED METAL GUTTER;
MATCH EXISTING.
5. HOLLOW METAL DOOR & FRAME;
MATCH EXISTING.
6. ALUMINUM FIXED WINDOW;
MATCH EXISTING.
7. PRE-FINISHED METAL ROOF PANEL;
MATCH EXISTING.
8. PRE-FINISHED METAL ROOF RIDGE
CAP; MATCH EXISTING
9. PRE-FINISHED METAL DOWNSPOUT;
MATCH EXISTING
10. EXTERIOR WALL LIGHT;
MATCH EXISTING



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07/10/2024

KINGFISHER COUNTY
DISTRICT 1 SHOP ADDITION

KINGFISHER, OKLAHOMA

16470 E 750 RD

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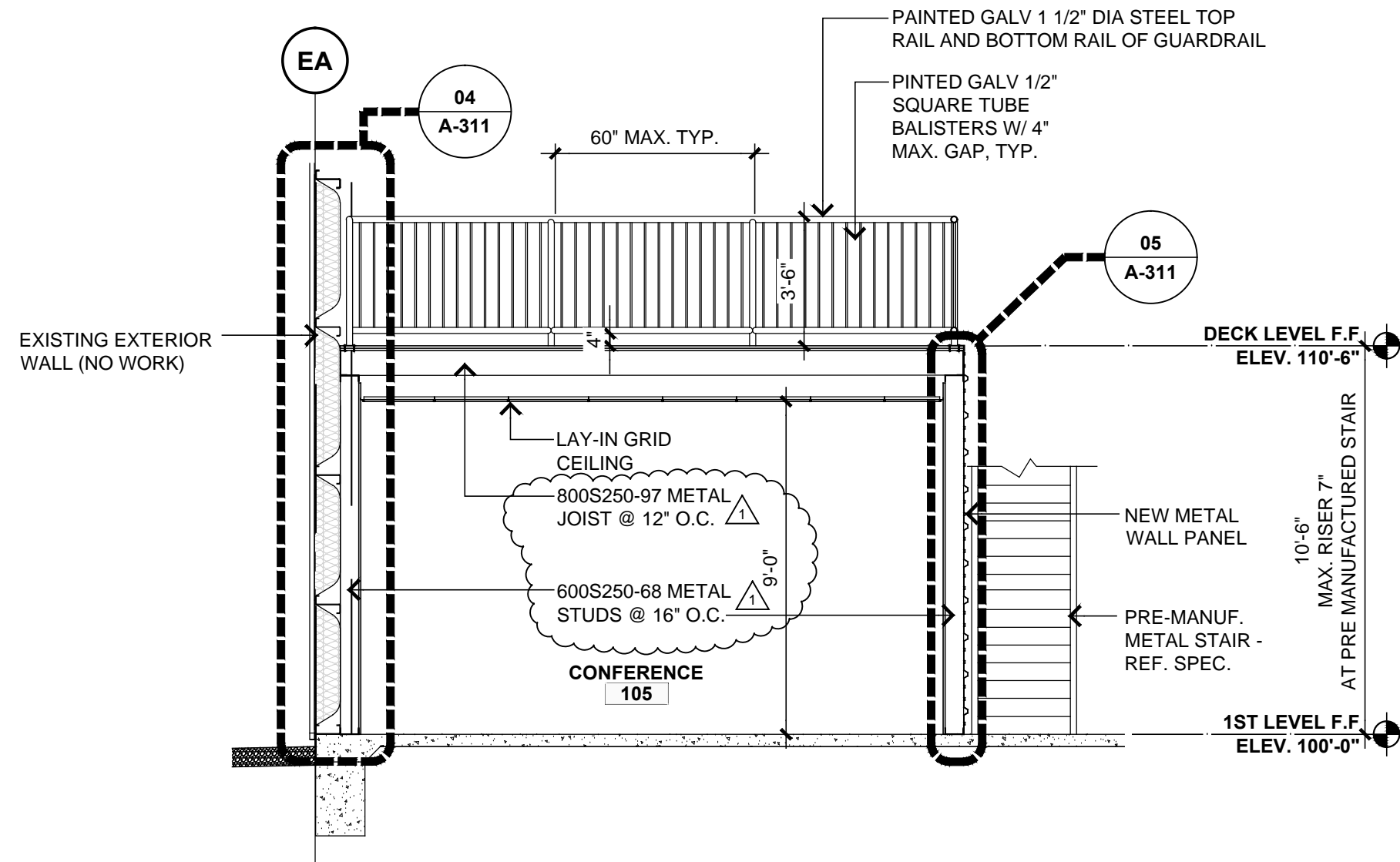
REV.	DATE	DESCRIPTION
△	08/21/24	ADDENDUM #1

PROJ. MANAGER: GL
DRAWN BY: STAFF
CHECKED BY: GL

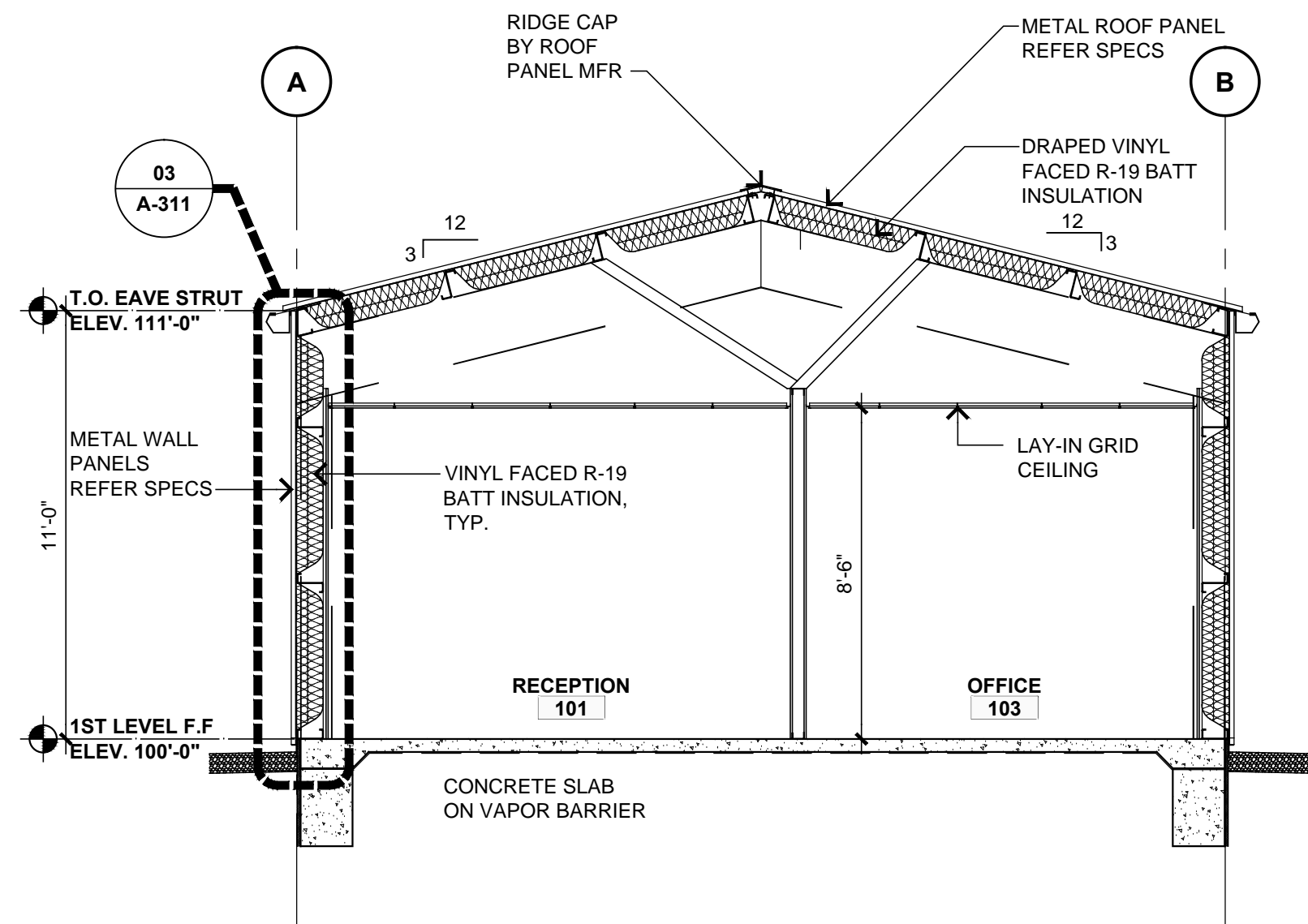
DATE: 07/10/2024
PROJECT NO.: 2405

SHEET TITLE:
**NEW ADDITION
ELEVATIONS**

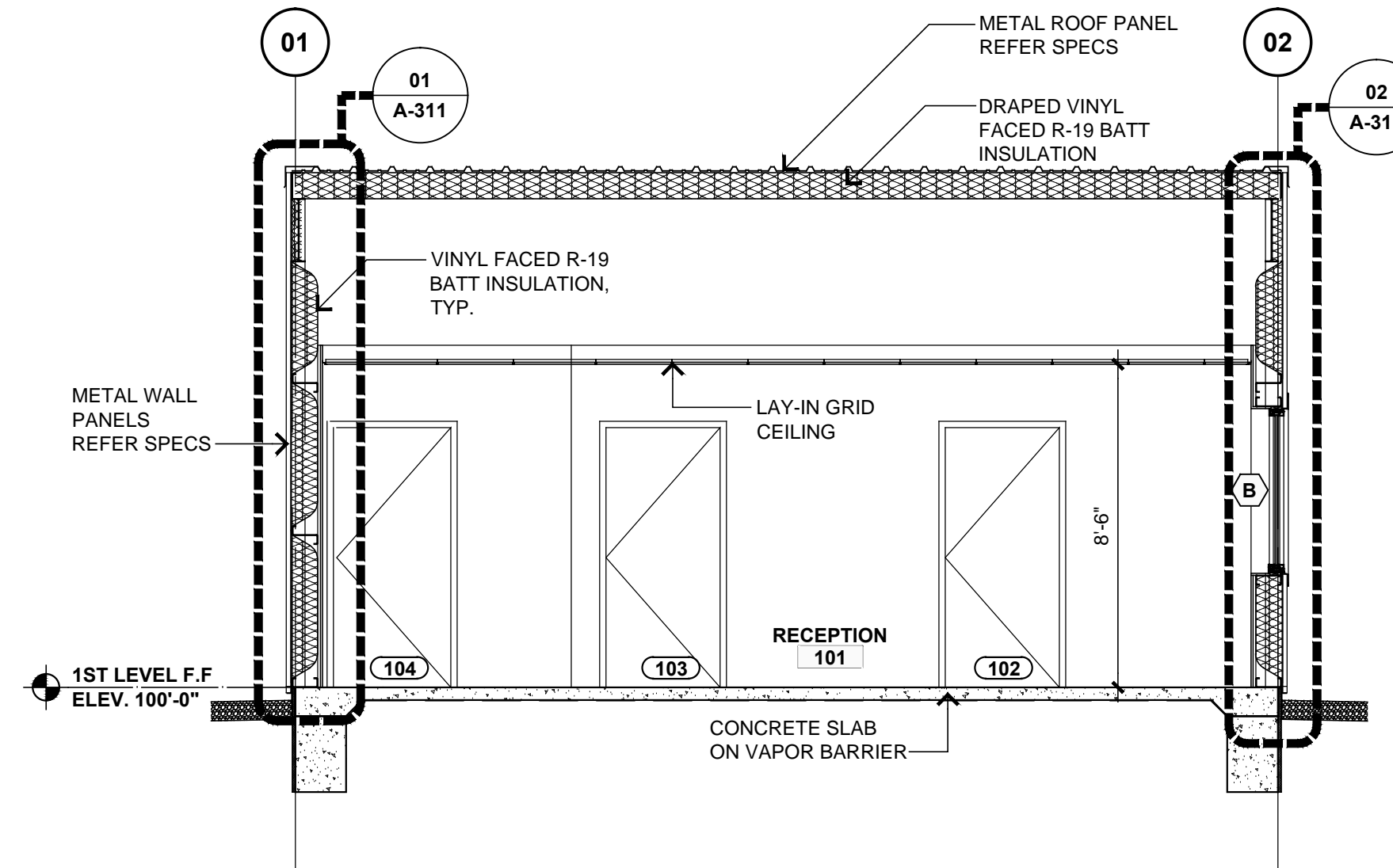
SHEET NO.:
A-201



01 EXISTING SHOP BUILDING SECTION- ALTERNATE 1
SCALE: 1/4"=1'-0" 01/A-101



02 BUILDING SECTION- NEW ADDITION
SCALE: 1/4"=1'-0" 01/A-101



03 BUILDING SECTION - NEW ADDITION
SCALE: 1/4"=1'-0" 01/A-101

GENERAL NOTE:
1.THE CONCRETE FOUNDATION AND SLAB DESIGN SHALL BE FURNISHED BY THE METAL BUILDING SUPPLIER OR THE GENERAL CONTRACTOR BASED ON ACTUAL FRAME REACTIONS SUPPLIED BY THE METAL BUILDING MANUFACTURER.



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REV.	DATE	DESCRIPTION
△	08/21/24	ADDENDUM #1

PROJ. MANAGER: GL
DRAWN BY: STAFF
CHECKED BY: GL

DATE: 07/10/2024
PROJECT NO.: 2405

SHEET TITLE:
**BUILDING
SECTIONS**

SHEET NO.:
A-301



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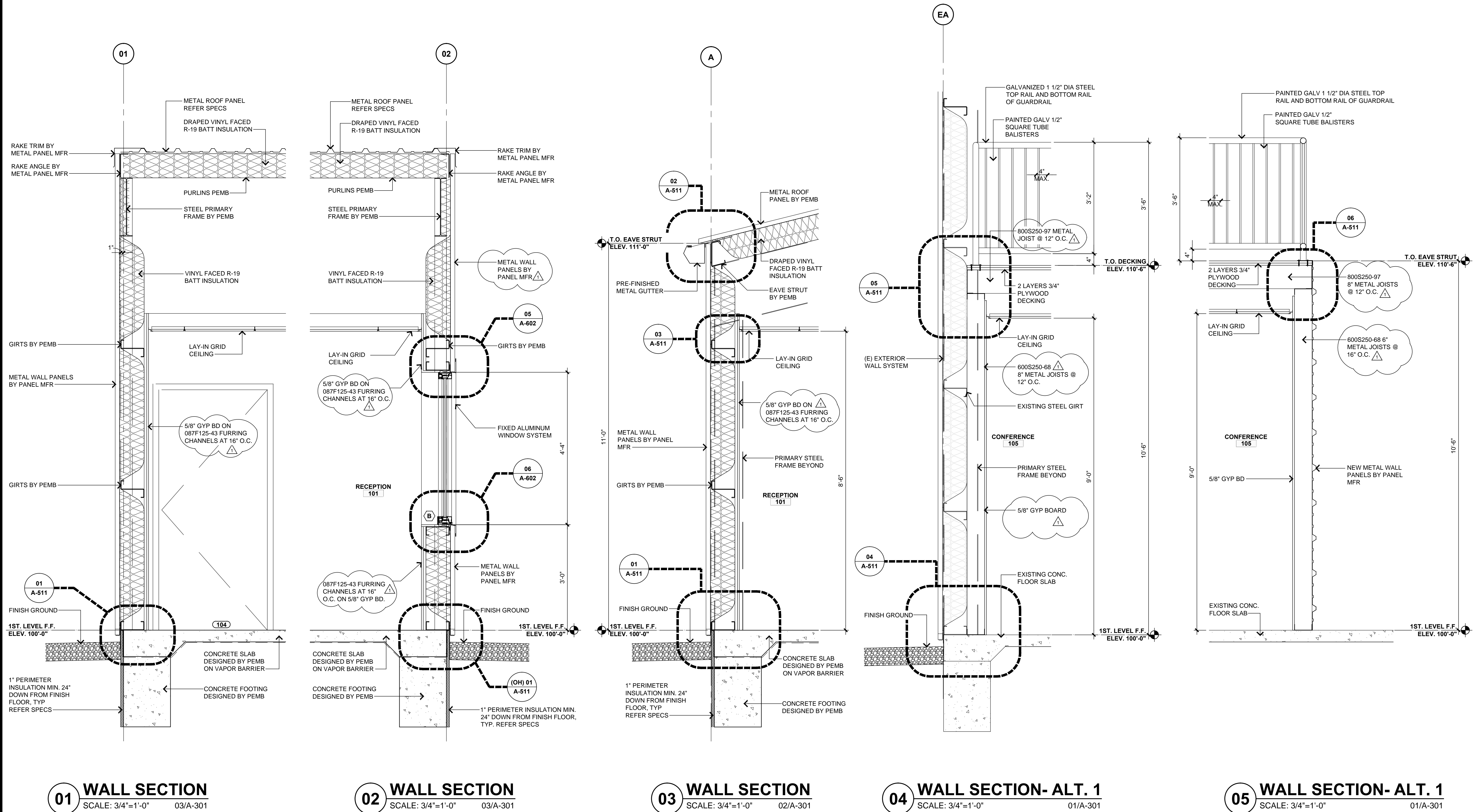
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1	08/21/24	ADDENDUM #1

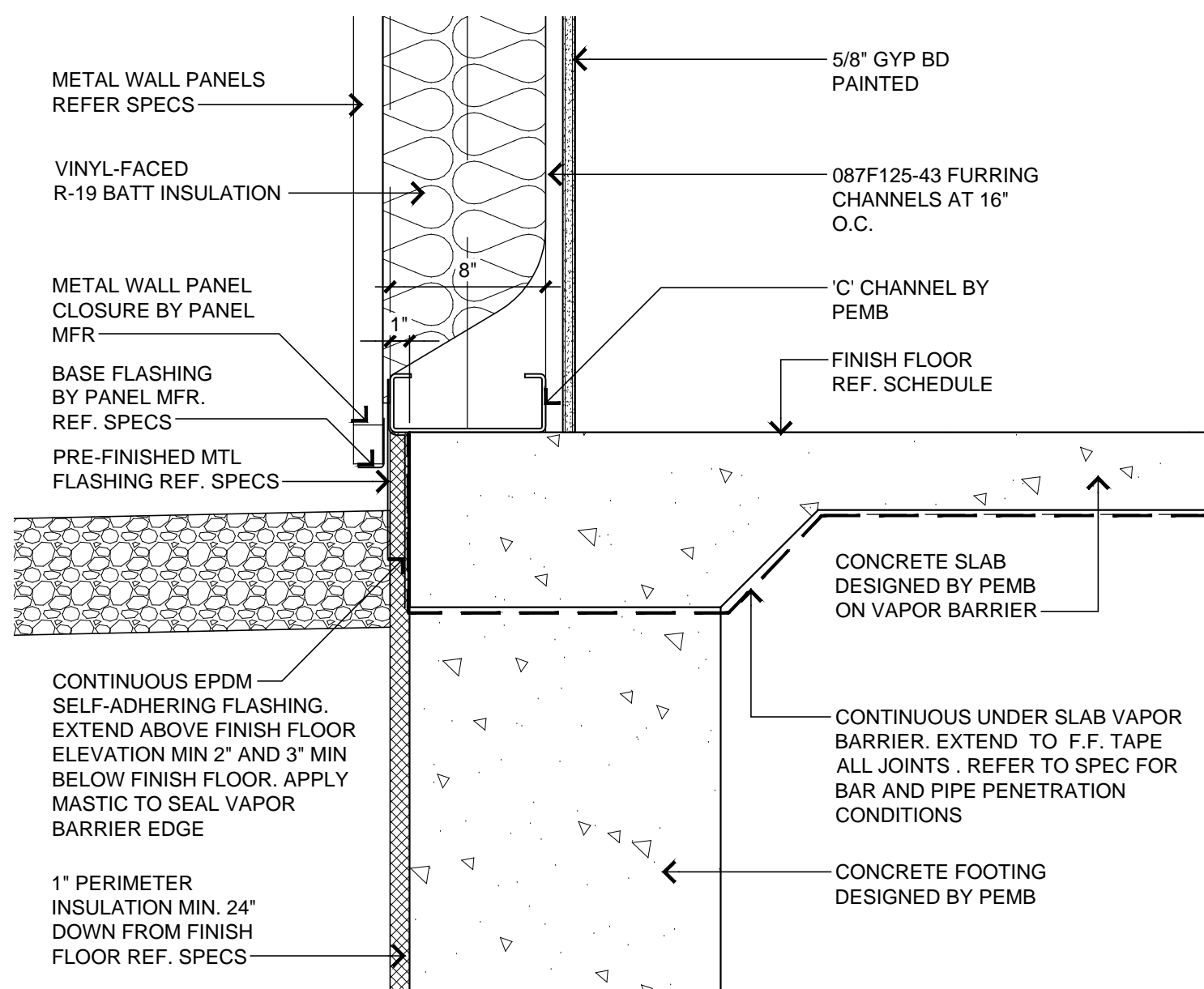
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DRAWN BY: **STAFF**
CHECKED BY: **GL**

DATE: **07/10/2024**
PROJECT NO.: **2405**

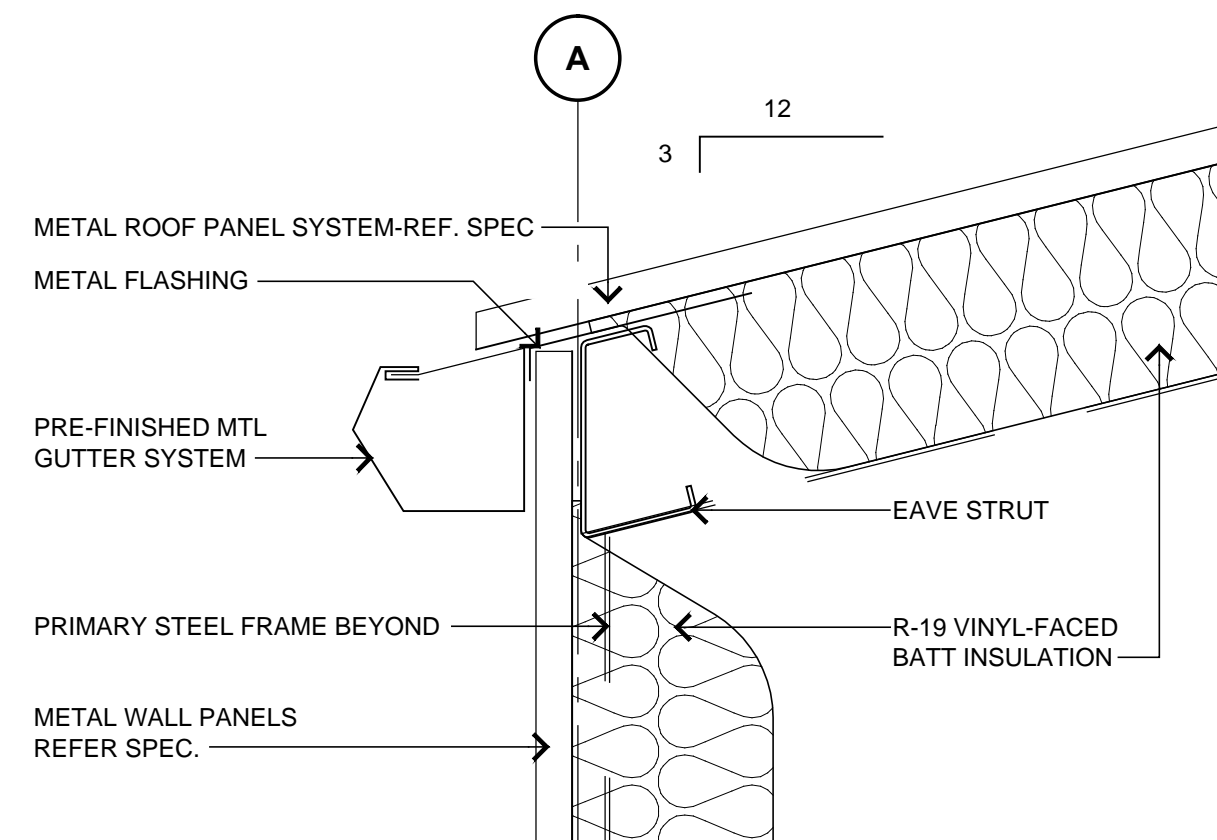
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WALL SECTIONS

SHEET NO.:
A-311

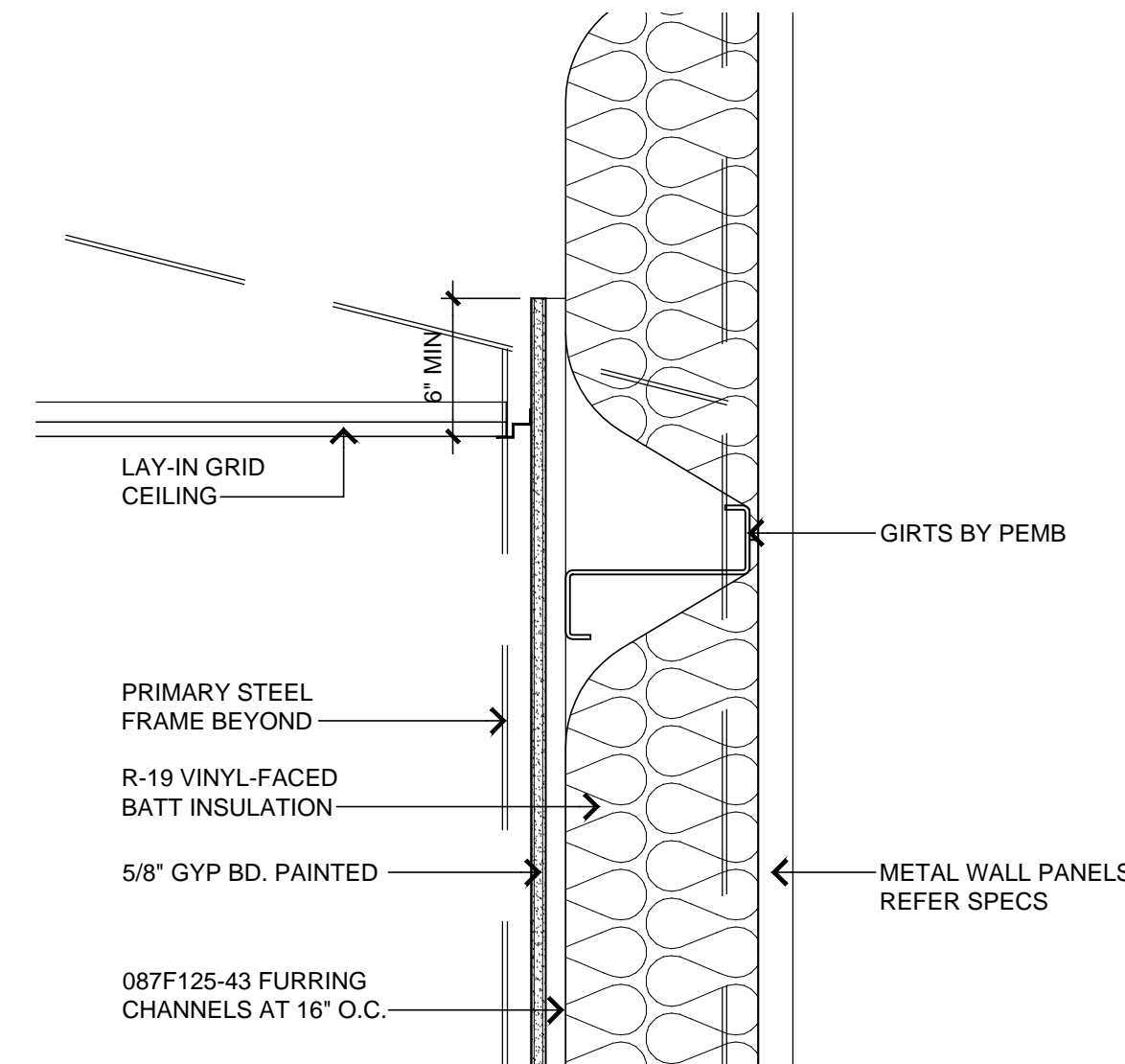




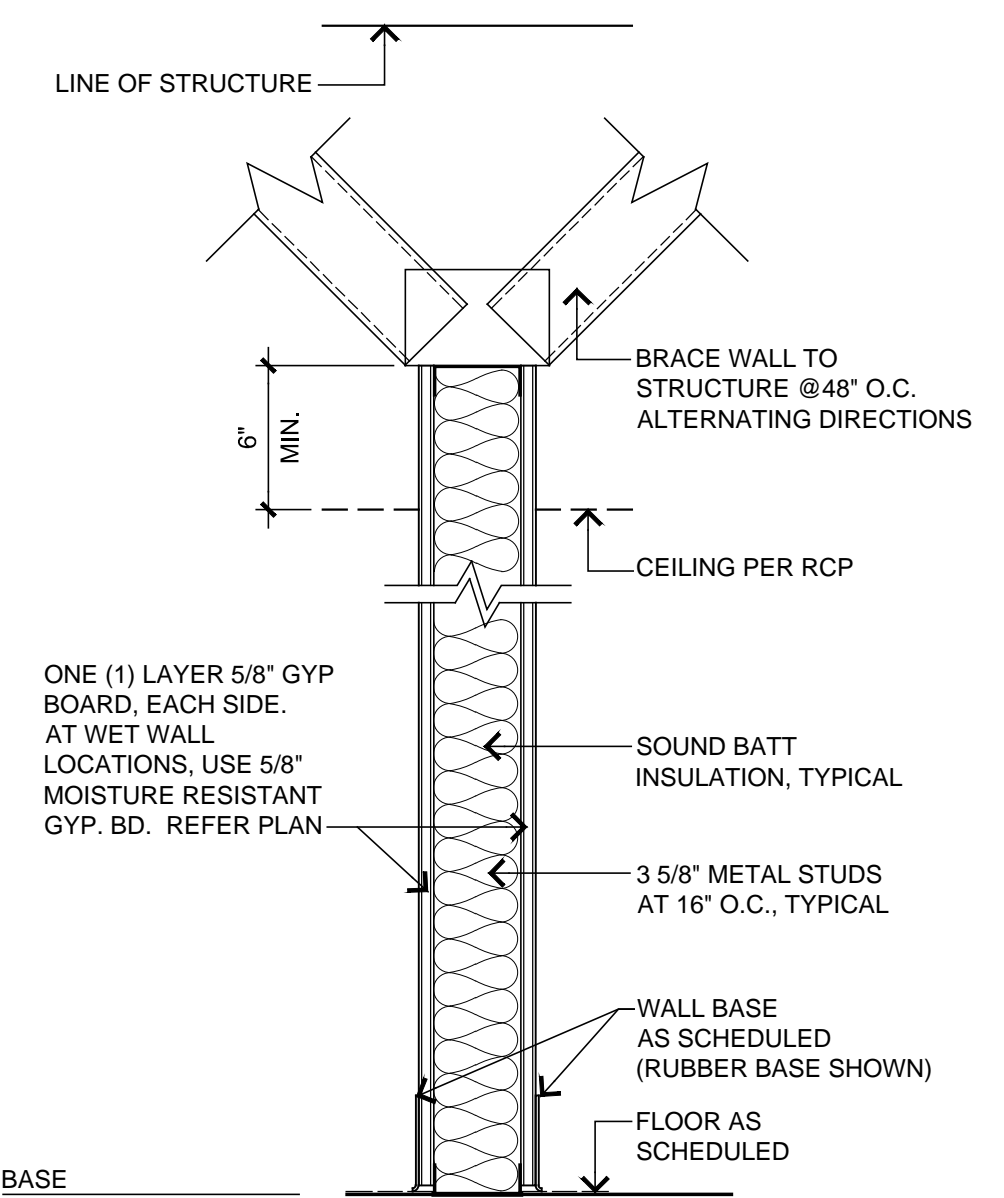
01 SECTION DETAIL
SCALE: 1 1/2"=1'-0" 01/A-311



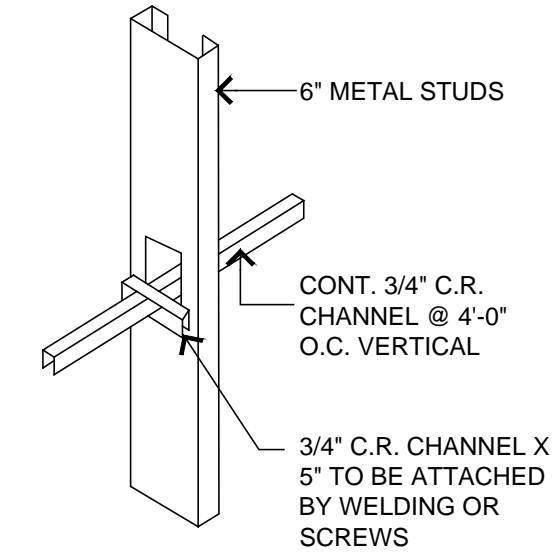
02 SECTION DETAIL
SCALE: 1 1/2"=1'-0" 03/A-311



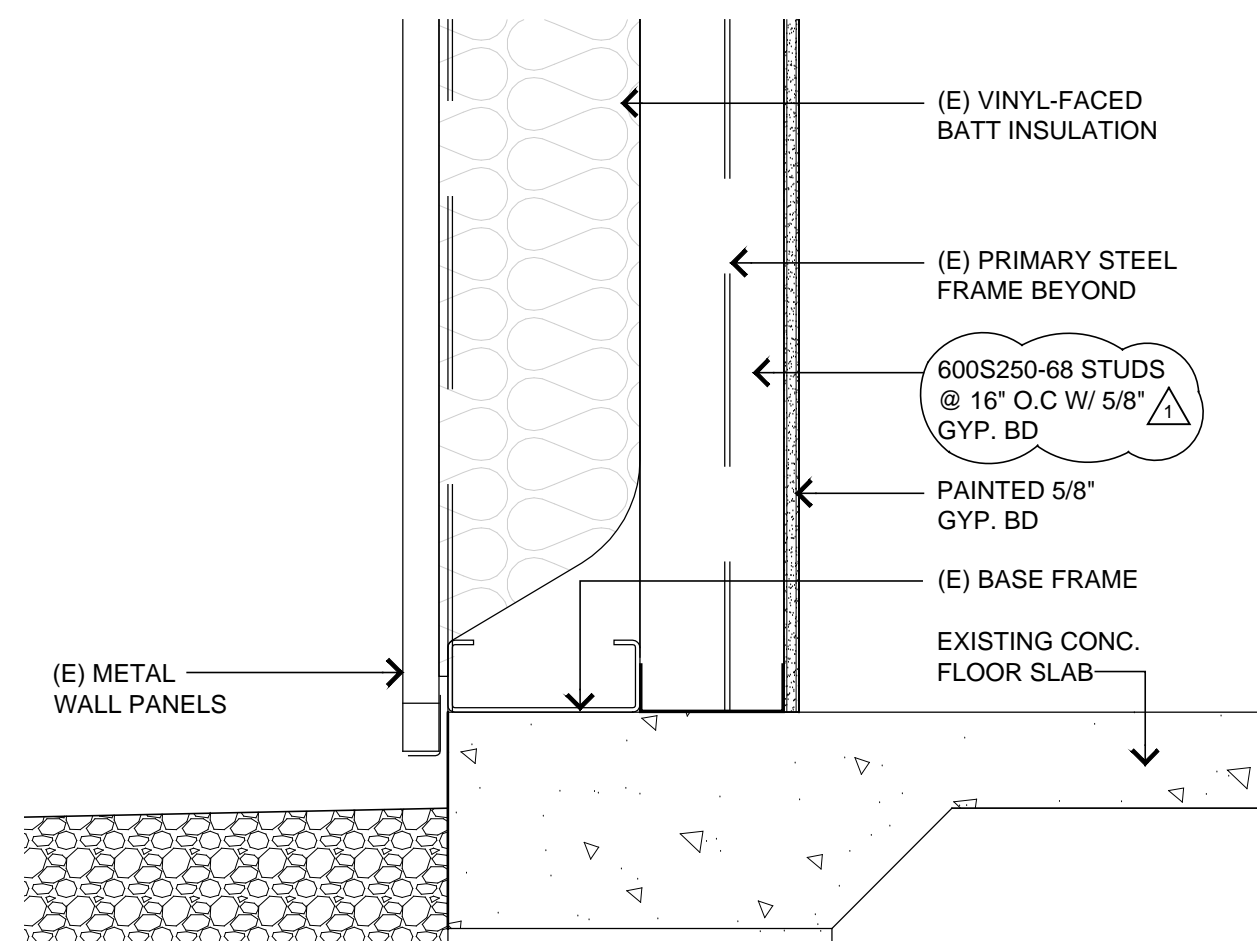
03 SECTION DETAIL
SCALE: 1 1/2"=1'-0" X-AXXX



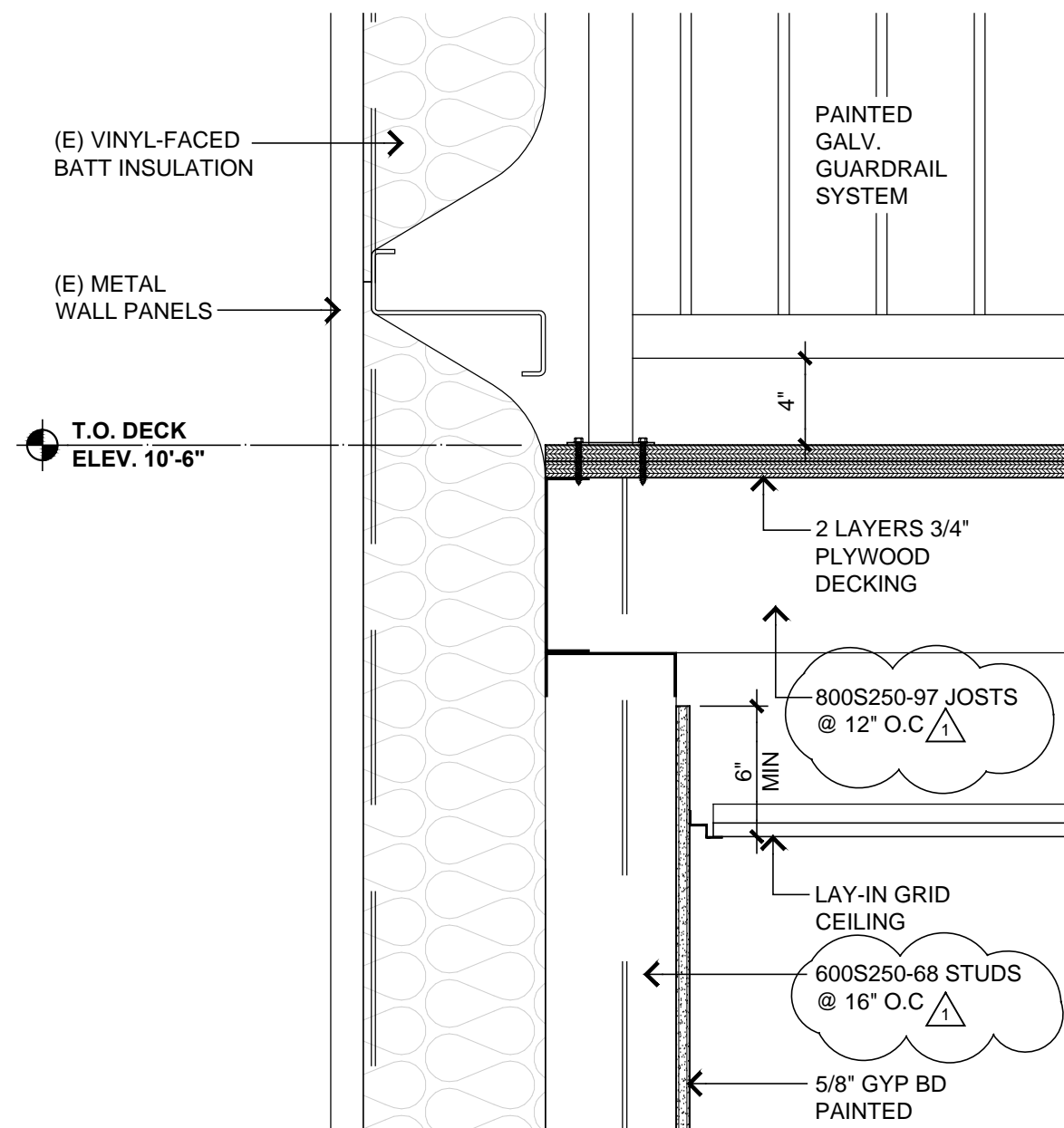
A NON-RATED PARTITION
NOT TO SCALE



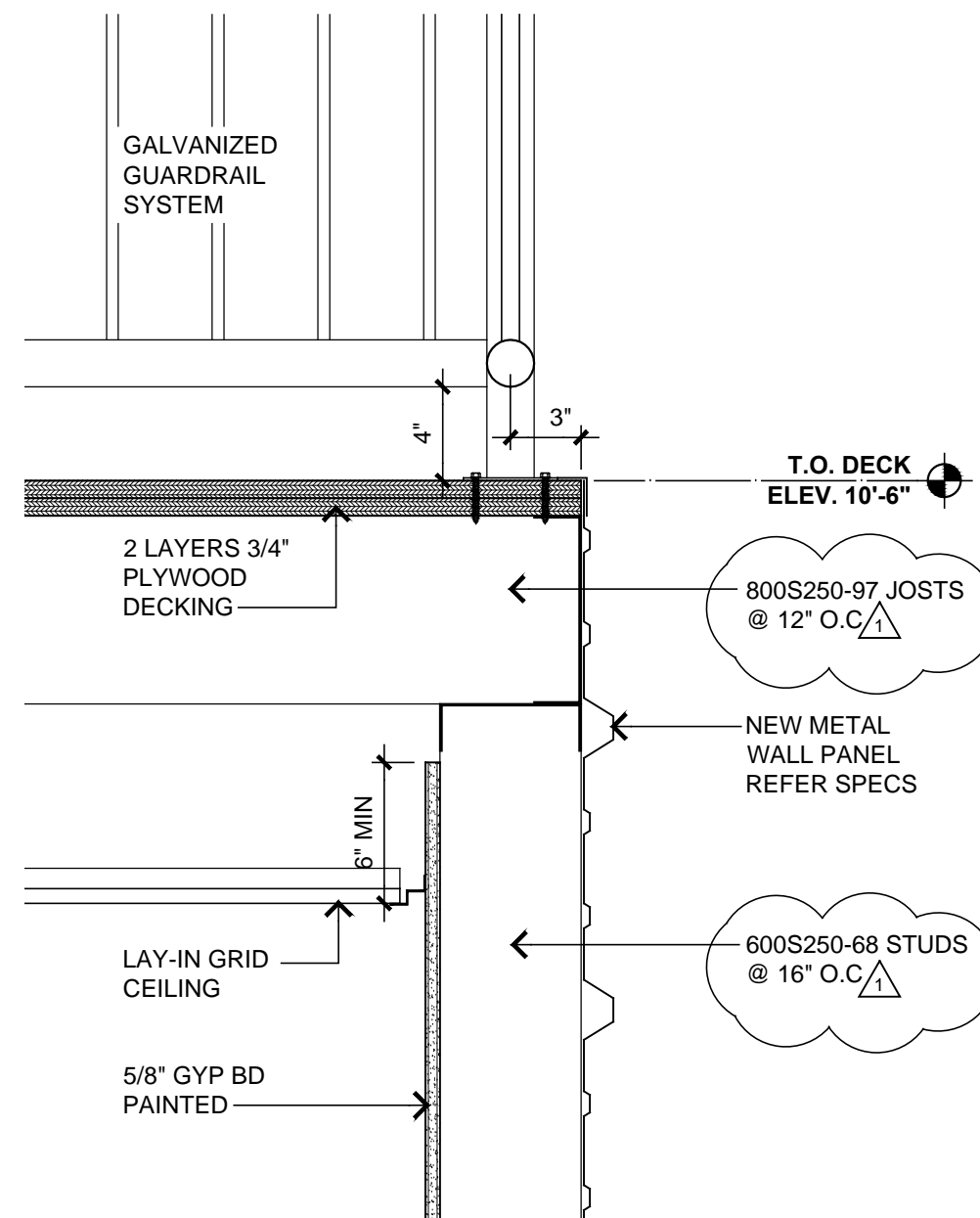
B TYP BRACING DETAIL AT ALTERNATE #1
NOT TO SCALE



04 ALTERNATE #1 SECTION DETAIL
SCALE: 1 1/2"=1'-0" X-AXXX



05 ALTERNATE #1 SECTION DETAIL
SCALE: 1 1/2"=1'-0" X-AXXX



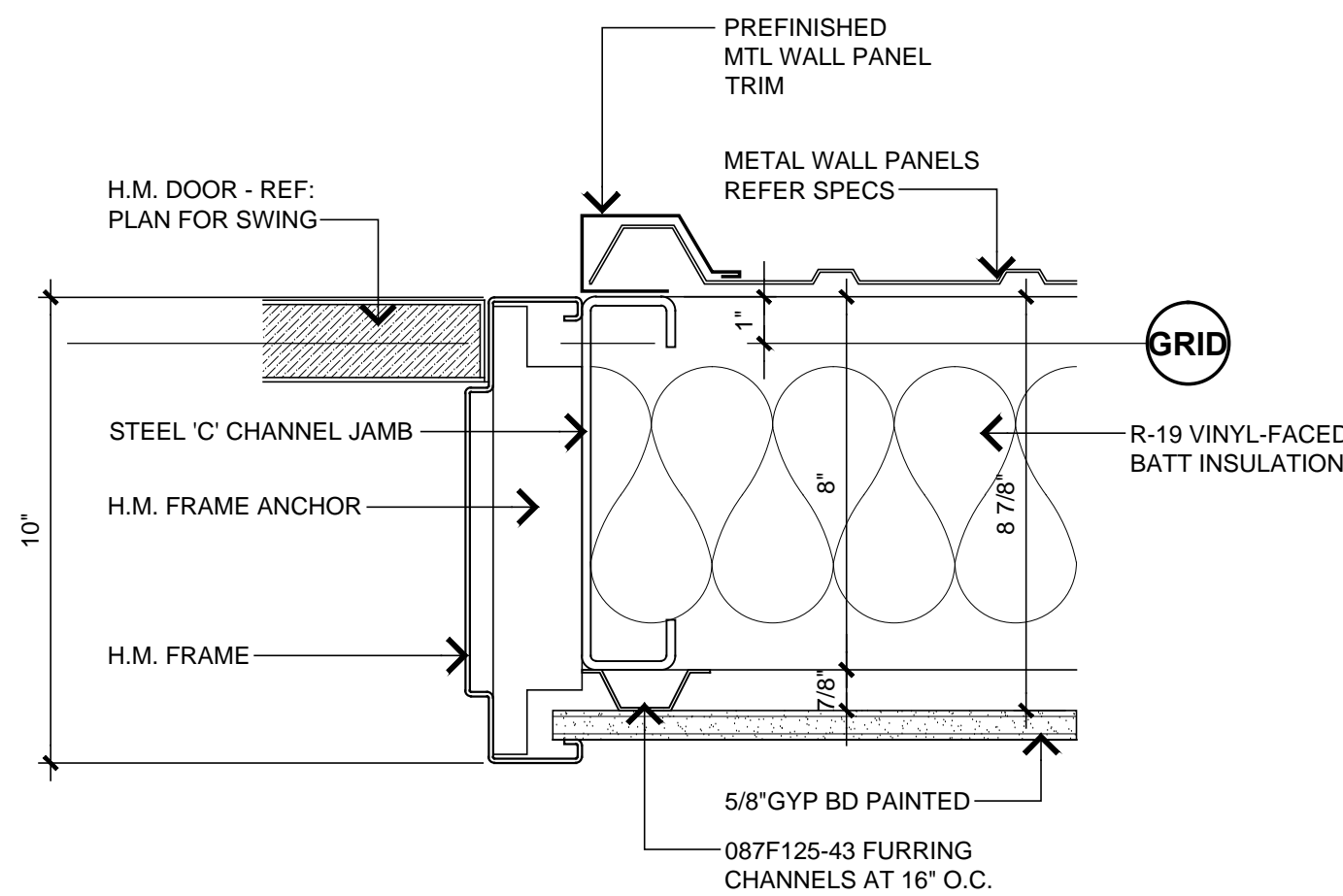
06 ALTERNATE #1 SECTION DETAIL
SCALE: 1 1/2"=1'-0" X-AXXX

REVISIONS		
REV.	DATE	DESCRIPTION
Δ	08/21/24	ADDENDUM #1

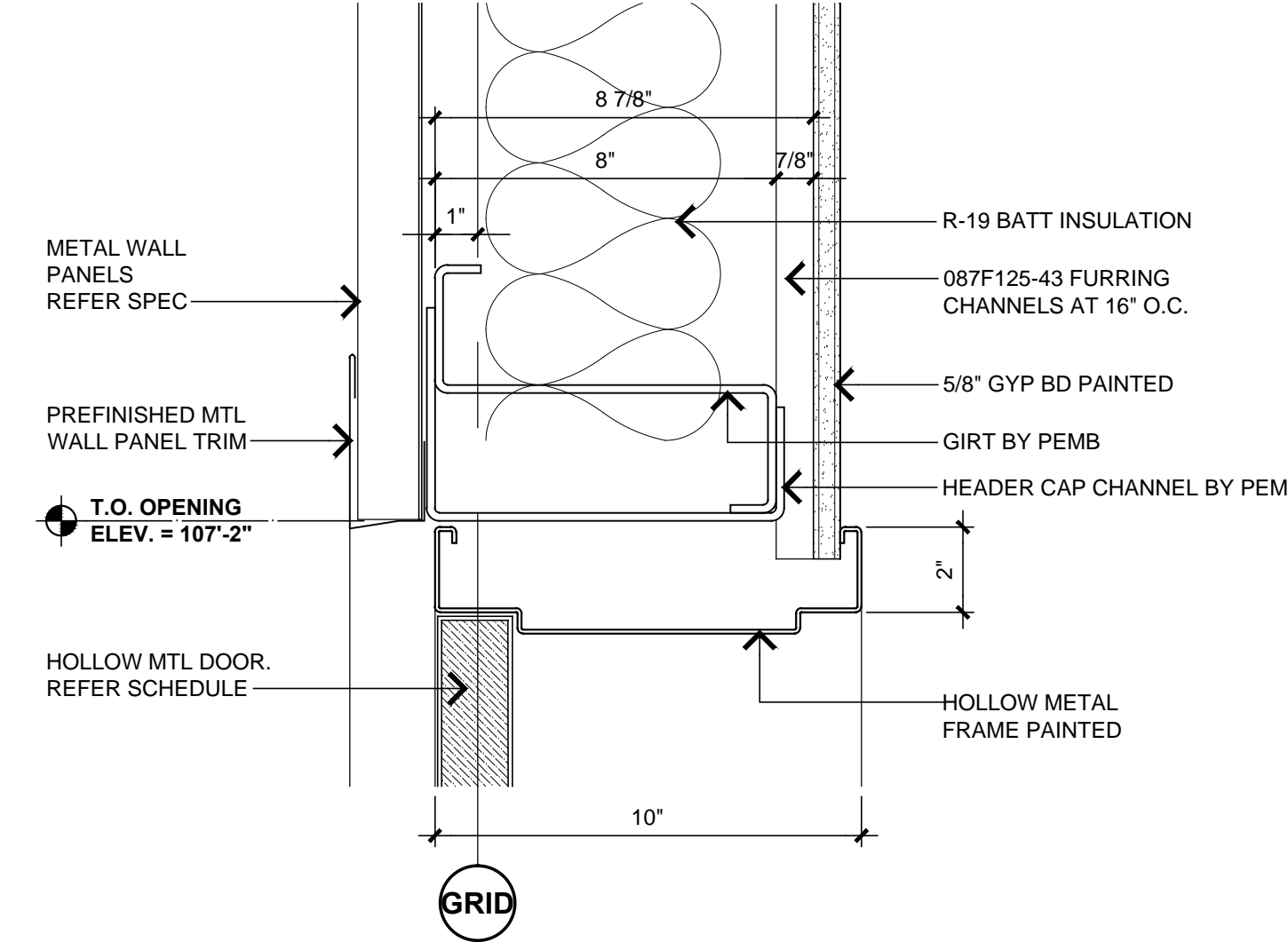
PROJ. MANAGER:	GL
DRAWN BY:	STAFF
CHECKED BY:	GL

DATE:	07/10/2024
PROJECT NO.:	2405

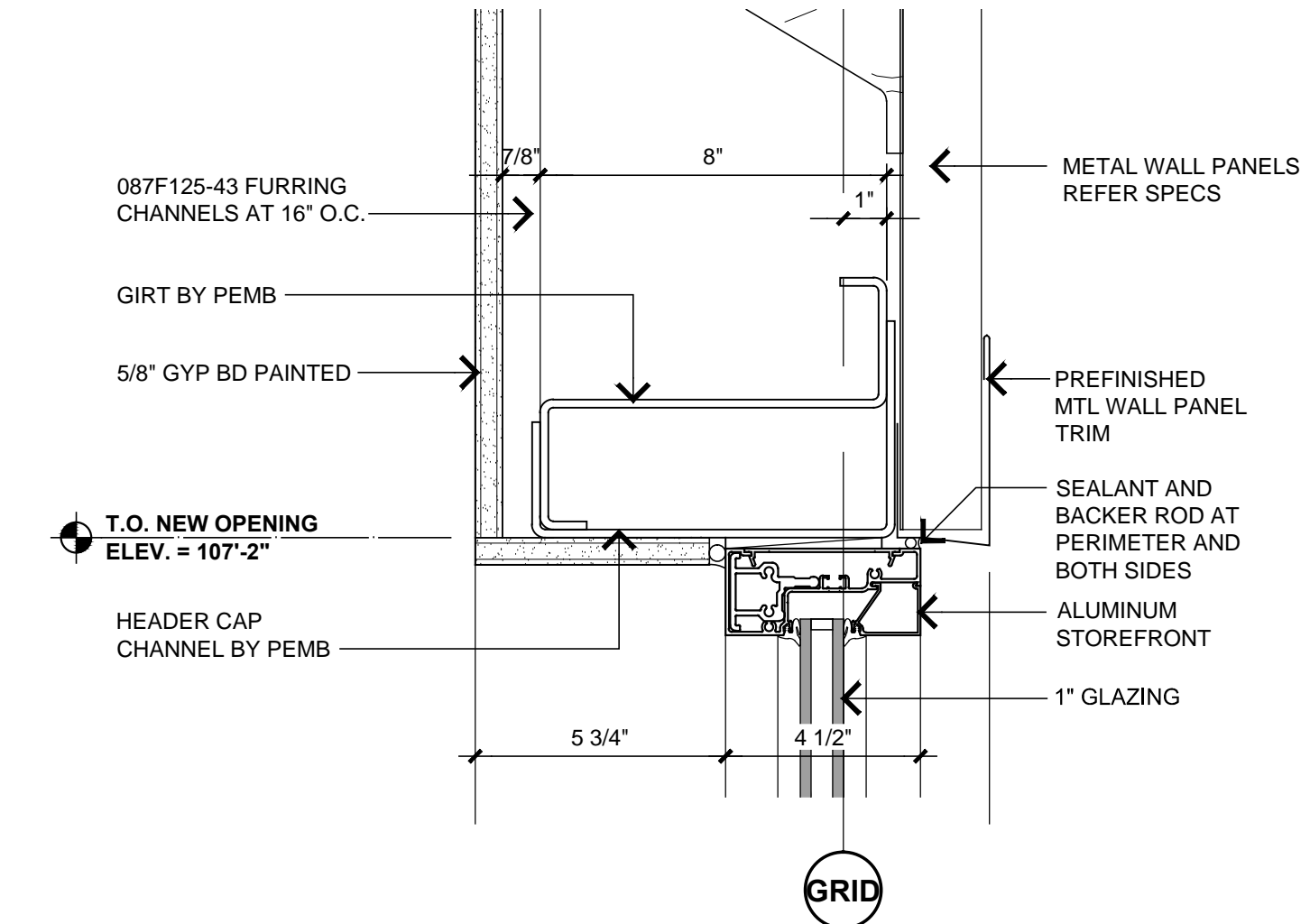
SHEET TITLE:	VERTICAL DETAILS
SHEET NO.:	A-511



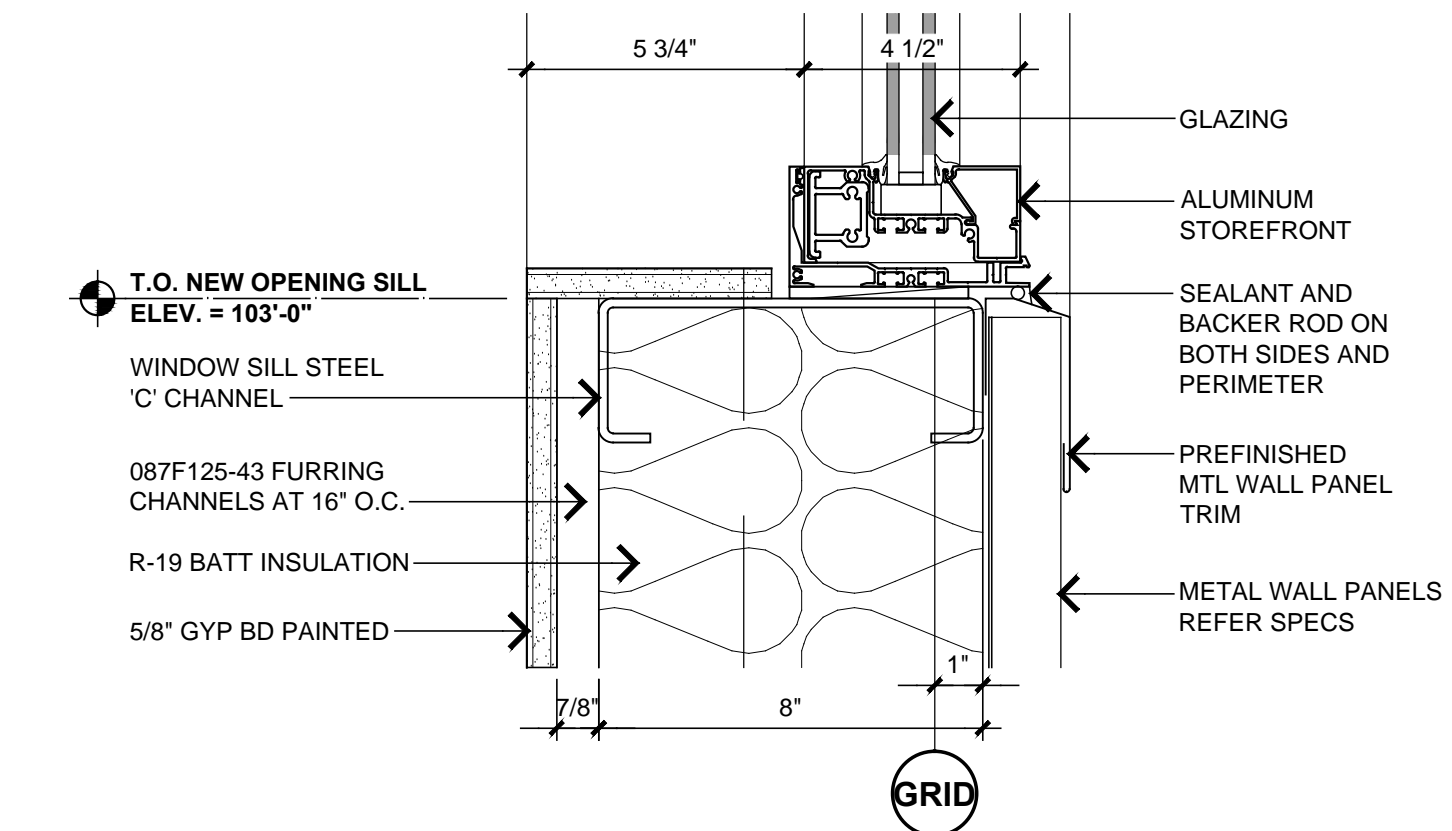
01 DOOR JAMB DETAIL
SCALE: 3"=1'-0"



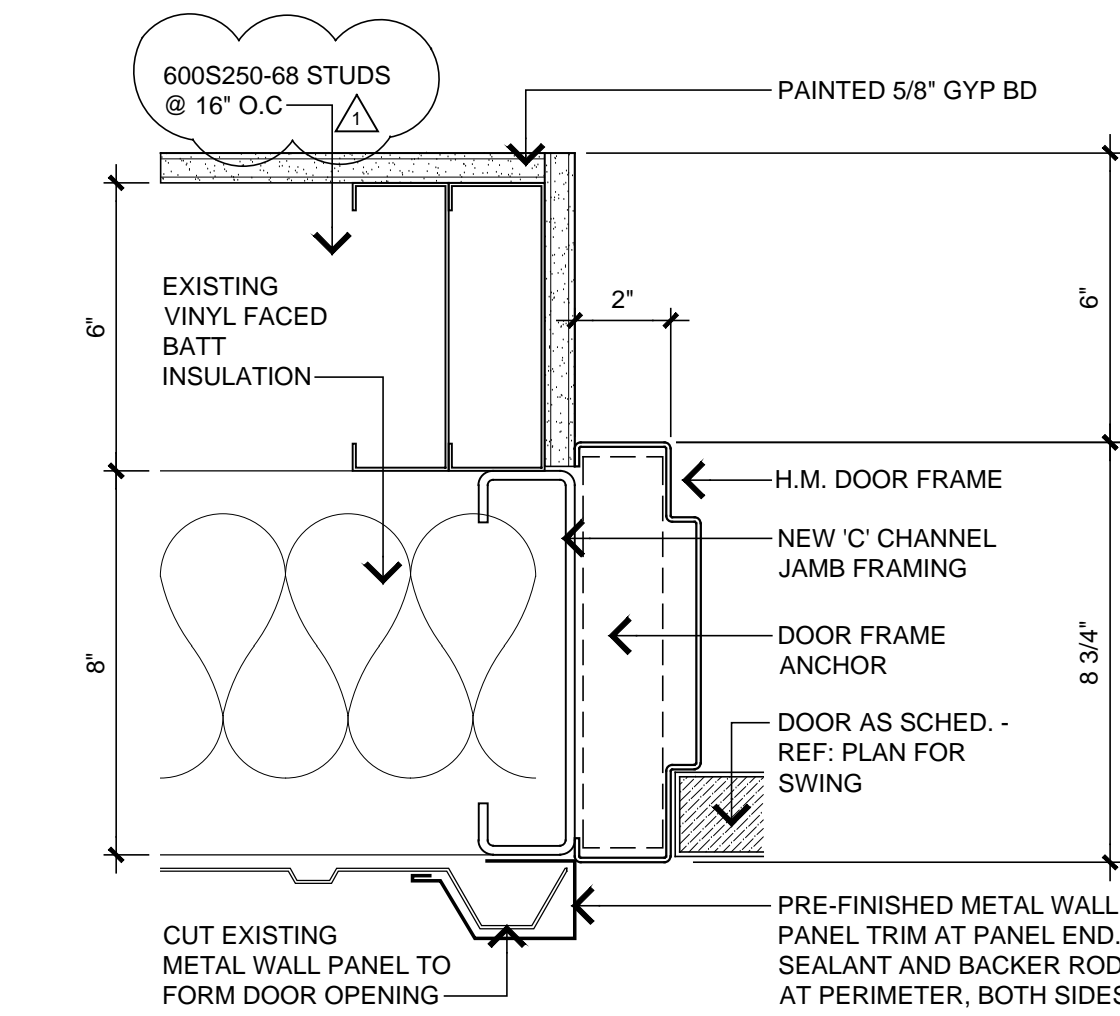
02 DOOR HEADER DETAIL
SCALE: 3"=1'-0"



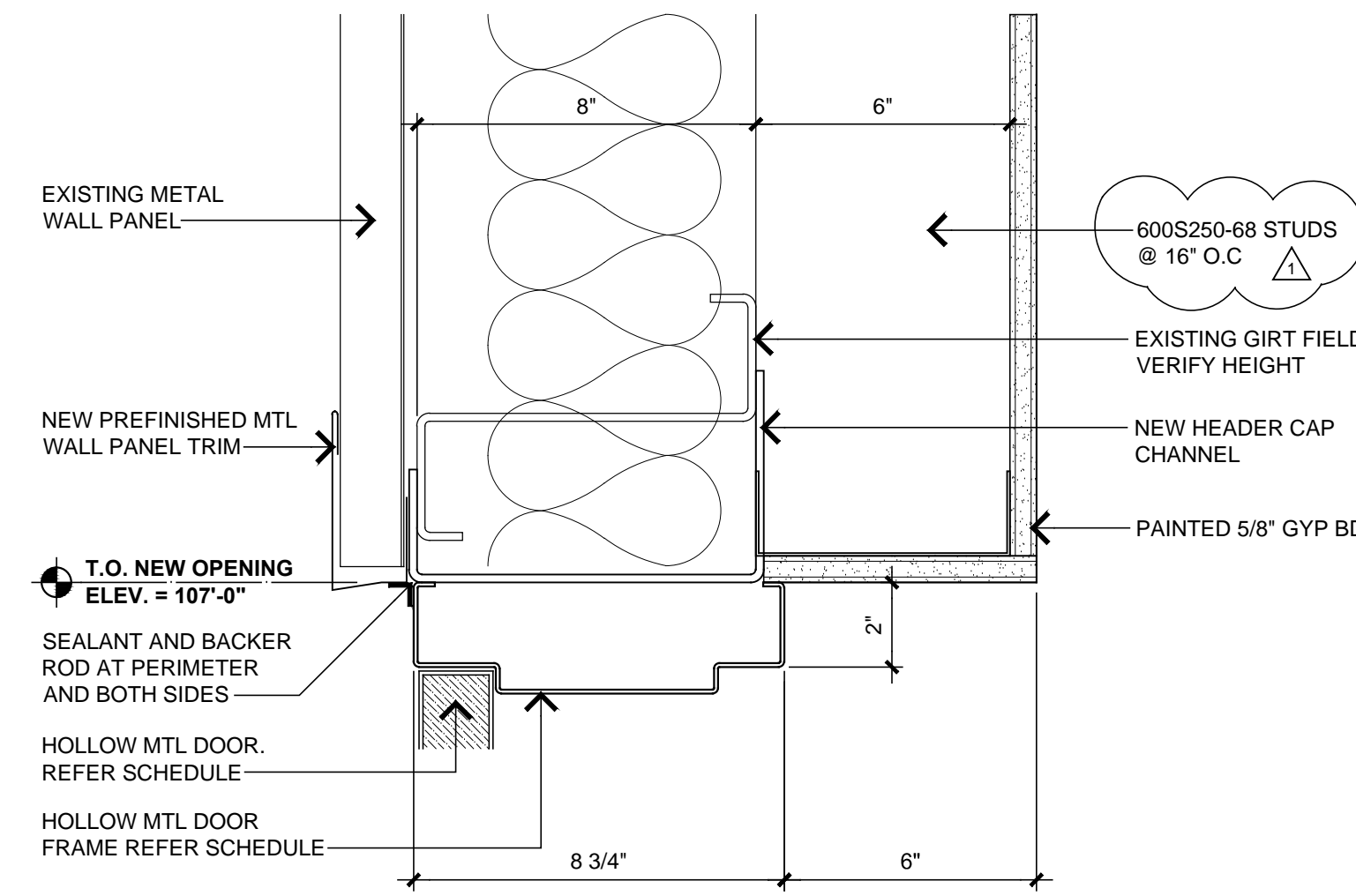
05 WINDOW HEADER DETAIL
SCALE: 3"=1'-0"



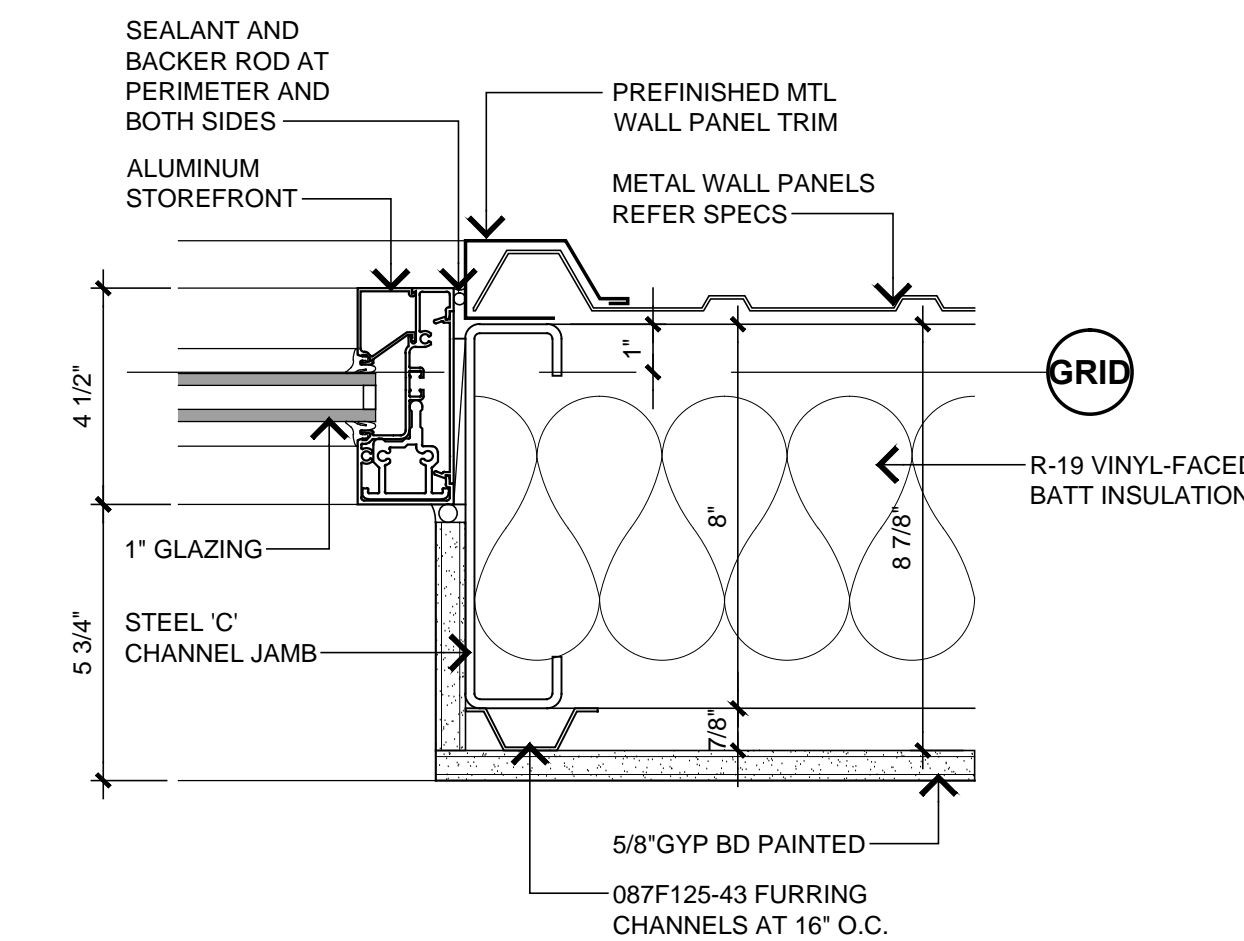
06 WINDOW SILL DETAIL
SCALE: 3"=1'-0"



03 ALTERNATE #1 DOOR JAMB DETAIL
SCALE: 3"=1'-0"



04 ALTERNATE #1 DOOR HEADER DETAIL
SCALE: 3"=1'-0"



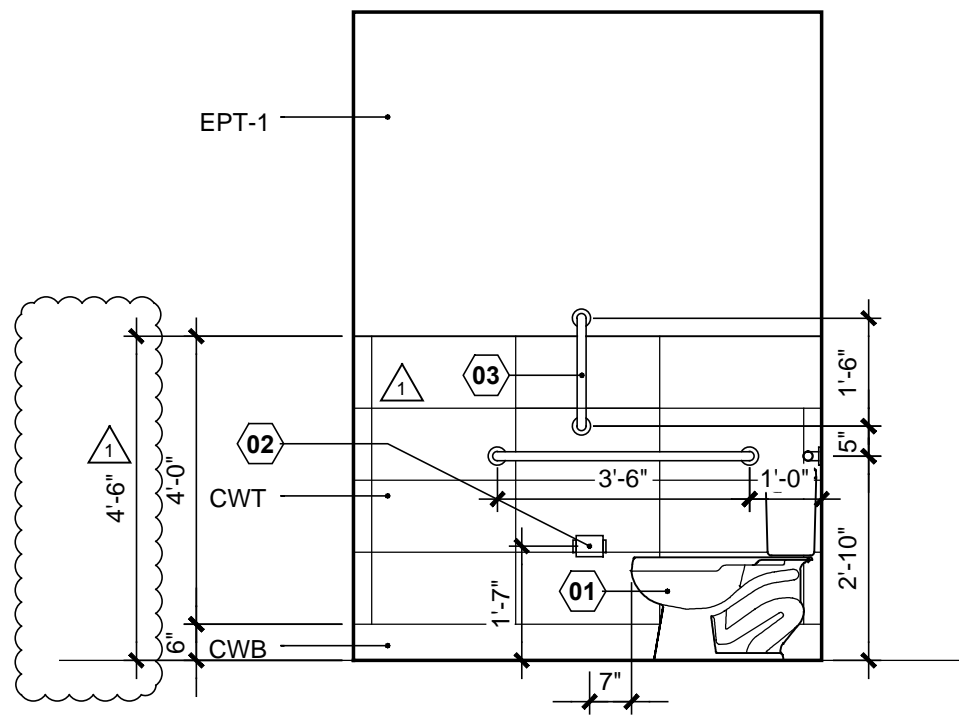
07 WINDOW JAMB DETAIL
SCALE: 3"=1'-0"

REVISIONS		
REV.	DATE	DESCRIPTION
△	08/21/24	ADDENDUM #1

PROJ. MANAGER:	GL
DRAWN BY:	STAFF
CHECKED BY:	GL

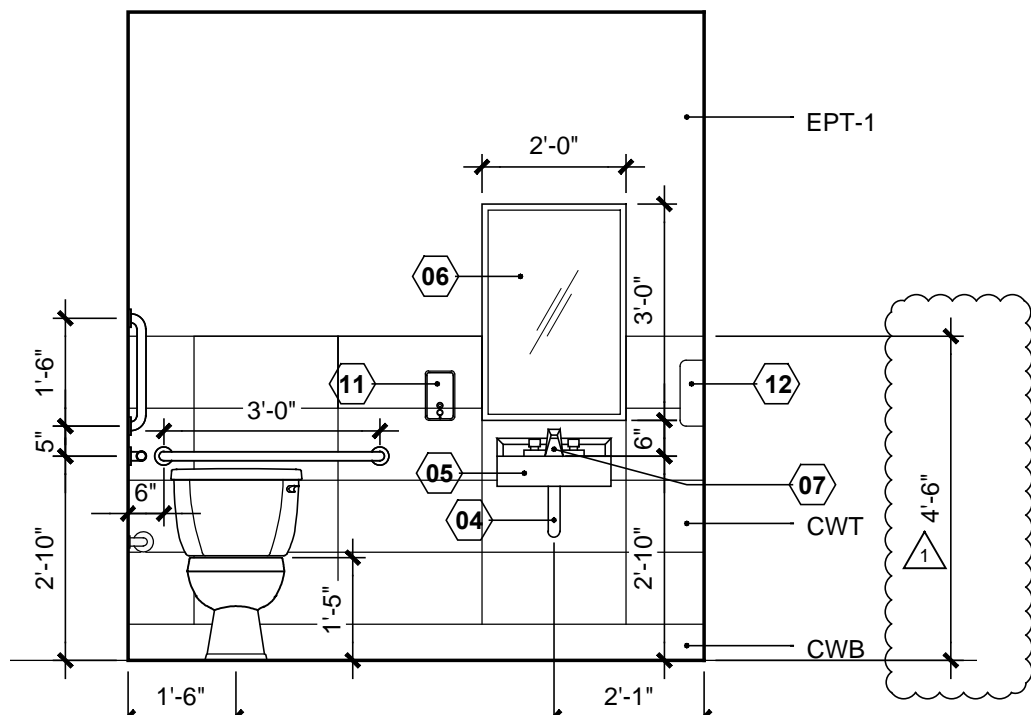
DATE:	07/10/2024
PROJECT NO.:	2405

SHEET TITLE:	FRAME DETAILS.
SHEET NO.:	A-602



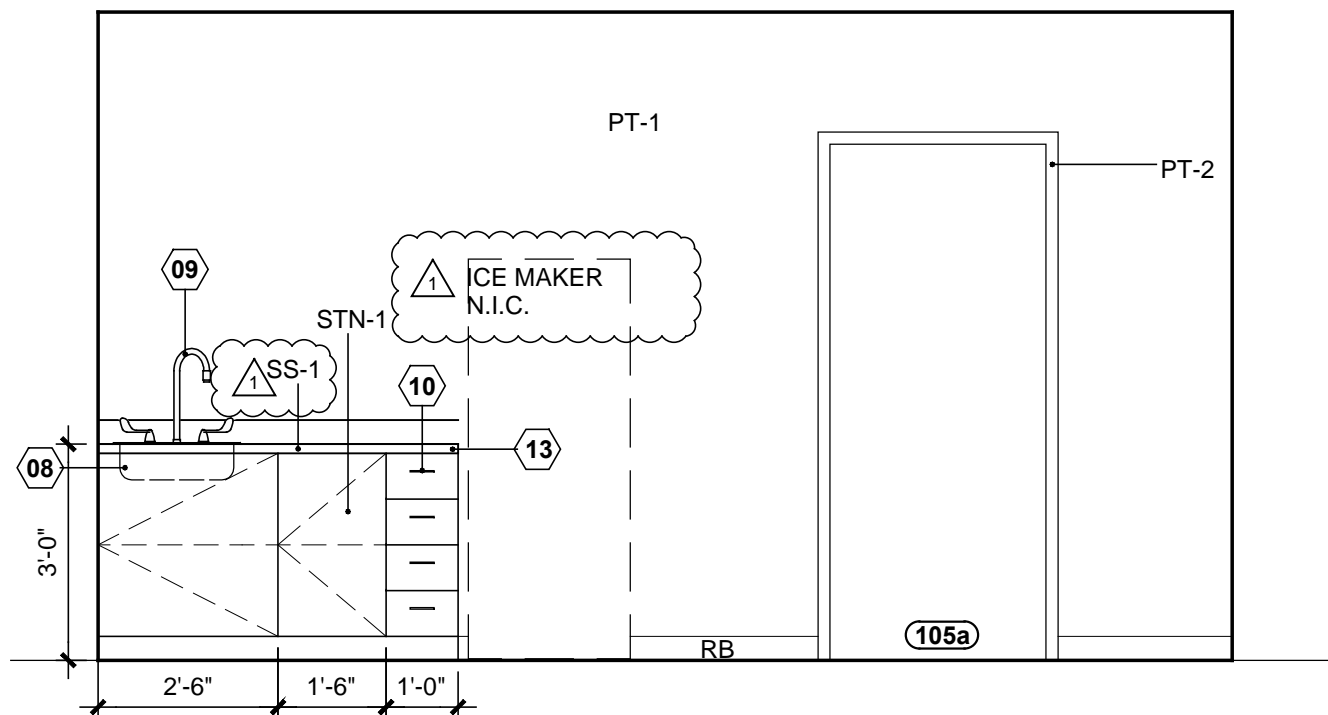
01 104
RESTROOM
SCALE: 3/8"=1'-0"

01/A-102



02 104
RESTROOM
SCALE: 3/8"=1'-0"

01/A-102



03 105
CONFERENCE
SCALE: 3/8"=1'-0"

01/A-102

COLOR SCHEDULE						
ABBREV	DESCRIPTION	MANUFACTURER	SERIES/COLLECTION	COLOR	SIZE	NOTES
EPT-1	EPOXY PAINT	SEE SPEC	WB CATALYZED EPOXY	ARCHITECTS CHOICE		
EPT-2	EPOXY PAINT	SEE SPEC	WB CATALYZED EPOXY	ARCHITECTS CHOICE		
PT-1	PAINT	SHERWIN WILLIAMS	SCUFF TUFF INTERIOR WB ENAMEL	ARCHITECTS CHOICE		
PT-2	PAINT	SHERWIN WILLIAMS	SCUFF TUFF INTERIOR WB ENAMEL	ARCHITECTS CHOICE		
PC	POLISHED CONCRETE					
RB	RUBBER BASE	ROPPE		ARCHITECTS CHOICE	4" TOE	
STN	STAIN	MINWAX	GEL STAIN	ARCHITECTS CHOICE		(2)
CWB	CERAMIC WALL BASE	METRO SURFACES	FOUNDATION 6" COVE BASE	SUMMIT GRAY		(1)
CWT	CERAMIC WALL TILE	METRO SURFACES	FOUNDATION	SUMMIT GRAY	12 X 24	(1)
ACT	ACOUSTICAL CEILING TILE	ARMSTRONG	ULTIMA	WHITE	24 X 24 X 3/4"	
GRID	CEILING GRID	ARMSTRONG	PRELUDE XL	WHITE	15/16"	

- GENERAL NOTES:
- ALL WALLS TO BE PAINTED PT-1 UNLESS OTHERWISE NOTED (UNO).
 - ALL FLOOR FINISH CHANGES TO HAVE A TRANSITION STRIP IF VARYING FLOOR HEIGHTS. ADA STANDARDS APPLY.
 - FULL MANUFACTURERS CATALOG TO BE USED FOR 'ARCHITECTS CHOICE'.
 - TILE PATTERN TO BE INSTALLED CENTERED ON WALL; TILES ON EACH END TO BE EQUAL AND NOT LESS THAN 1/2 OF A TILE.

COLOR SCHEDULE KEY NOTES:	
01	ALL COORDINATING CORNER PIECES TO BE USED. FOR BOTH TILE AND TRIM PIECES. SCHLUTER QUADREC IN FINISH "AT".
02	FINISH WITH MINWAX POLYCRYLIC CRYSTAL CLEAR TOPCOAT IN CLEAR SATIN.

LEGEND:	
EPT-1	EPOXY PAINT
EPT-2	EPOXY PAINT (FLOOR)
PT-1	PAINT (FIELD)
PT-2	PAINT (ACCENT)
SS-1	SILESTONE QUARTZ - WHITE
STN-1	WOOD STAIN
WB	WALL BASE
WP	RIGID WALL PROTECTION

ELEVATION KEY NOTES:	
01	AMERICAN STANDARD CADET / 2467100020 / WHITE
02	ASI 0697-GAL / TOILET TISSUE /STAINLESS
03	ASI 3800 SERIES / 1 1/2"D DIA / SNAP FLANGE
04	AMERICAN STANDARD P-TRAP SHROUD / 0059020EC.020 / WHITE
05	AMERICAN STANDARD DECORUM / 902400IEC.020 / WHITE
06	ASI 0620 SERIES / STAINLESS STEEL / 24 X 36
07	AMERICAN STANDARD SERIN / 2064101.002 / POLISHED CHROME
08	AMERICAN STANDARD - DROP-IN EDGEWATER / 185B6252211.075 / SS
09	AMERICAN STANDARD RENAT / 9319310.002 / SS
10	4" CENTER TO CENTER FUNCTIONAL STAINLESS STEEL PULL.
11	ASI 0346 / LIQUID SOAP DISPENSER
12	ASI 64623-9 / PAPER DISP. & RECEPTACLE / SS
13	OURO ROMANO ETCHINGS OR SIMILAR RLLD. NOSE INTGRD SPLSH W/ END EDGE

REVISIONS		
REV.	DATE	DESCRIPTION
△	08/21/24	ADDENDUM #1

PROJ. MANAGER:	GL
DRAWN BY:	STAFF
CHECKED BY:	GL

DATE:	07/10/2024
PROJECT NO.:	2405

SHEET TITLE:	INTERIOR ELEVATIONS
SHEET NO.:	A-740